

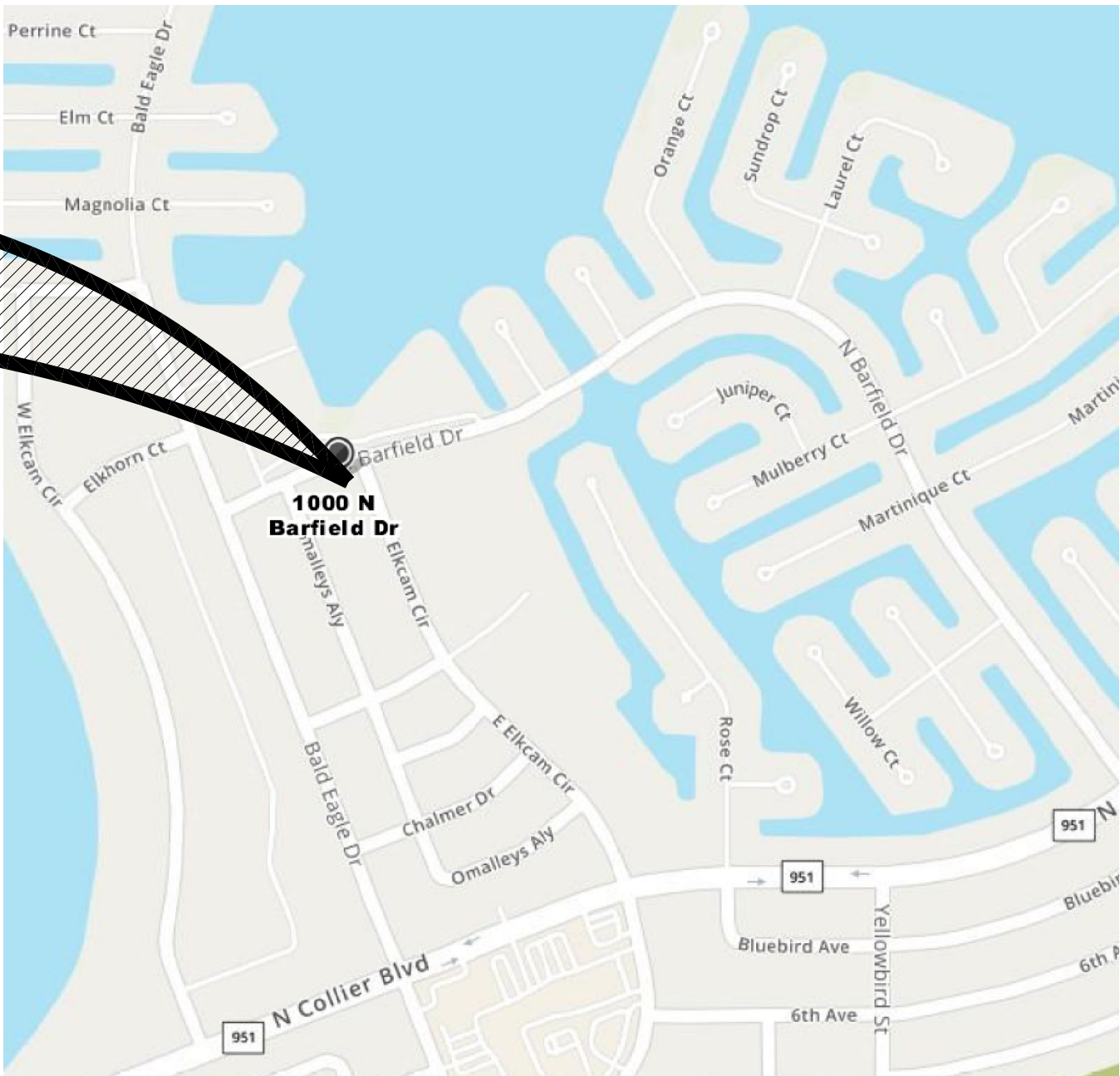
SITE DEVELOPMENT PLANS

FOR

WALKER TRANSPORTATION BUILDING

SECTION 8, TOWNSHIP 52 , RANGE 26
COLLIER COUNTY, FLORIDA
ZONED "C-5"

SITE



BASE MAP SOURCE: MAPQUEST

VICINITY MAP

N.T.S.

FOLIO NUMBER

56990080003

LEGAL DESCRIPTION

LOT 2, BLOCK 776, A REPLAT OF A PORTION OF MARCO BEACH UNIT FOUR,
ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 12, PAGES 19
THROUGH 21, OF THE PUBLIC RECORDS OF COLLIER COUNTY, FLORIDA

PREPARED FOR:
MARITIME ACQUISITIONS, LLC
785 BALD EAGLE DRIVE
MARCO ISLAND, FLORIDA 34145
(239) 394-9333

PREPARED BY:
GINA R. GREEN, P.A.
3310 1ST AVENUE NW
NAPLES, FL 34120
(239) 348-0500
(866) 720-4823 (FAX)

PROJECT ADDRESS:
WALKER TRANSPORTATION BLDG
1000 N. BARFIELD DRIVE
MARCO ISLAND, FLORIDA 34145

SHEET INDEX	
SHEET NO.	DRAWING
1.	AERIAL MAP/EX. CONDITIONS/DEMO PLANS
2.	SITE LAYOUT PLAN
3.	UTILITY & DRAINAGE PLAN
4.	CROSS SECTIONS

3. DEVIATION REQUESTS OF THE MARCO ISLAND LAND DEVELOPMENT CODE:
1. ELIMINATE TERMINAL LANDSCAPE ISLAND REQUIREMENTS PER SEC. 30-439(c)
 2. REDUCE VEHICULAR USE AREA PER SEC. 30-439.(b).
 3. MODIFY SPACING OF TREES IN PERIMETER BUFFER (ALT. "c") SEC. 20-266.(c)(1) & SEC. 30-441.(g).
 4. MODIFY SPACING OF TREES IN PERIMETER BUFFER (ALT. "a") SEC. 20-266.(c)(2) & SEC. 30-441.(g).
 5. PLACE DECORATIVE RAIL FENCE IN LANDSCAPE BUFFER AT FRONT PROPERTY LINE, PLACE LANDSCAPING BEHIND FENCE SEC. 30-266.(e).

BUILDING CONSTRUCTION INFORMATION

Occupancy: GROUP S-2 STORAGE
Mixed Occupancy: NO
Const. Type: II-B, Unsprinklered
Interior Finishes: TYP. OFFICE & GARAGE
Total Square Footage: 8,152 SF Enclosed, 10,027 SF Under Roof

This item has been digitally signed and sealed by Gina R. Green,
P.E. on the date adjacent to the seal.
Printed copies of this document are not considered signed and
sealed and the signature must be verified on any electronic copies.

REVISIONS			
NO.	DESCRIPTION	DATE	
1	REV PER CITY COMMENTS	06-30-20	
2	REV PER CITY COMMENTS	09-01-20	
3	REV PER CITY COMMENTS/ADD DEVIATION REQUESTS	10-5-20	



DocuSigned by:
Gina R. Green
99A46ACCA33047B...

10/5/2020

GINA R. GREEN, P.A.

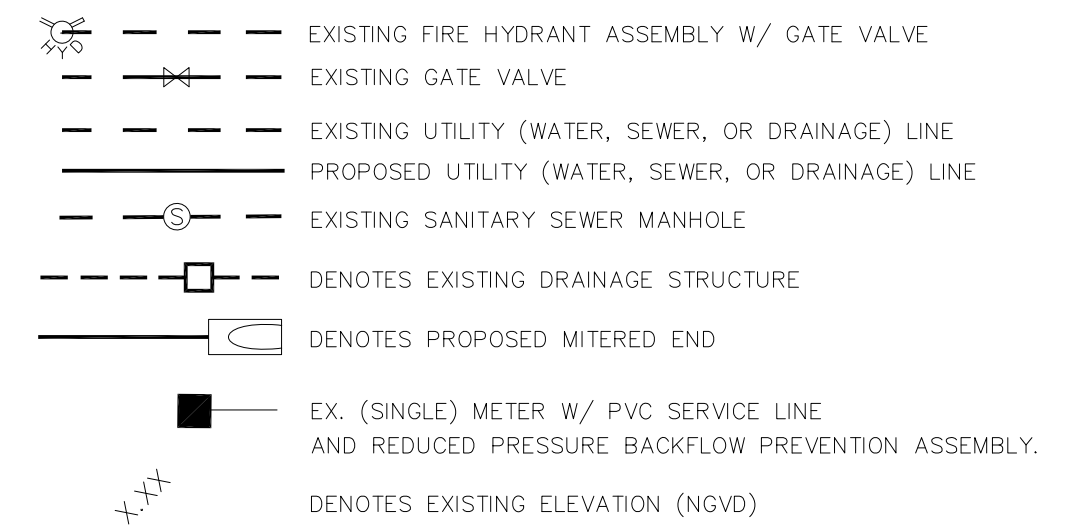
CIVIL ENGINEERING
3310 1ST AVE. N.W.
NAPLES, FLORIDA 34120
(239) 348-0500 FAX (866) 720-4823

PREPARED FOR:	WALKER MARINA
PROJECT:	WALKER TRANSPORTATION BUILDING
DESCRIPTION:	TITLE PAGE
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SHEET:

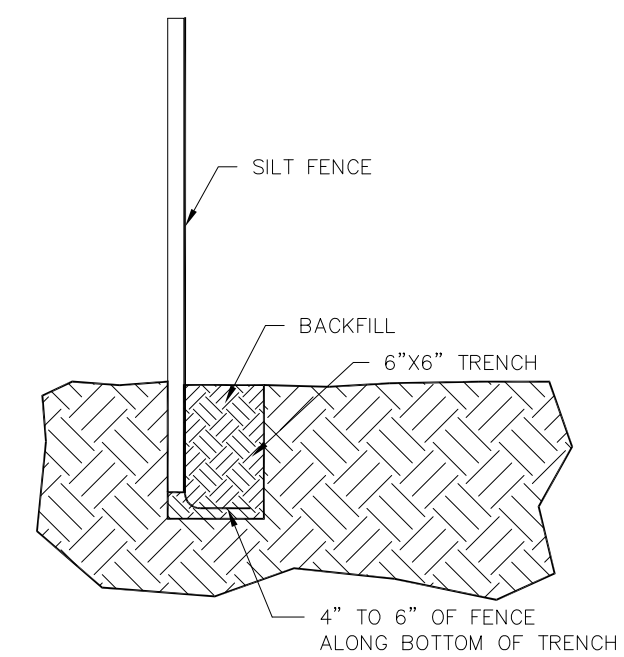


UTILITY, DRAINAGE & PAVING LEGEND

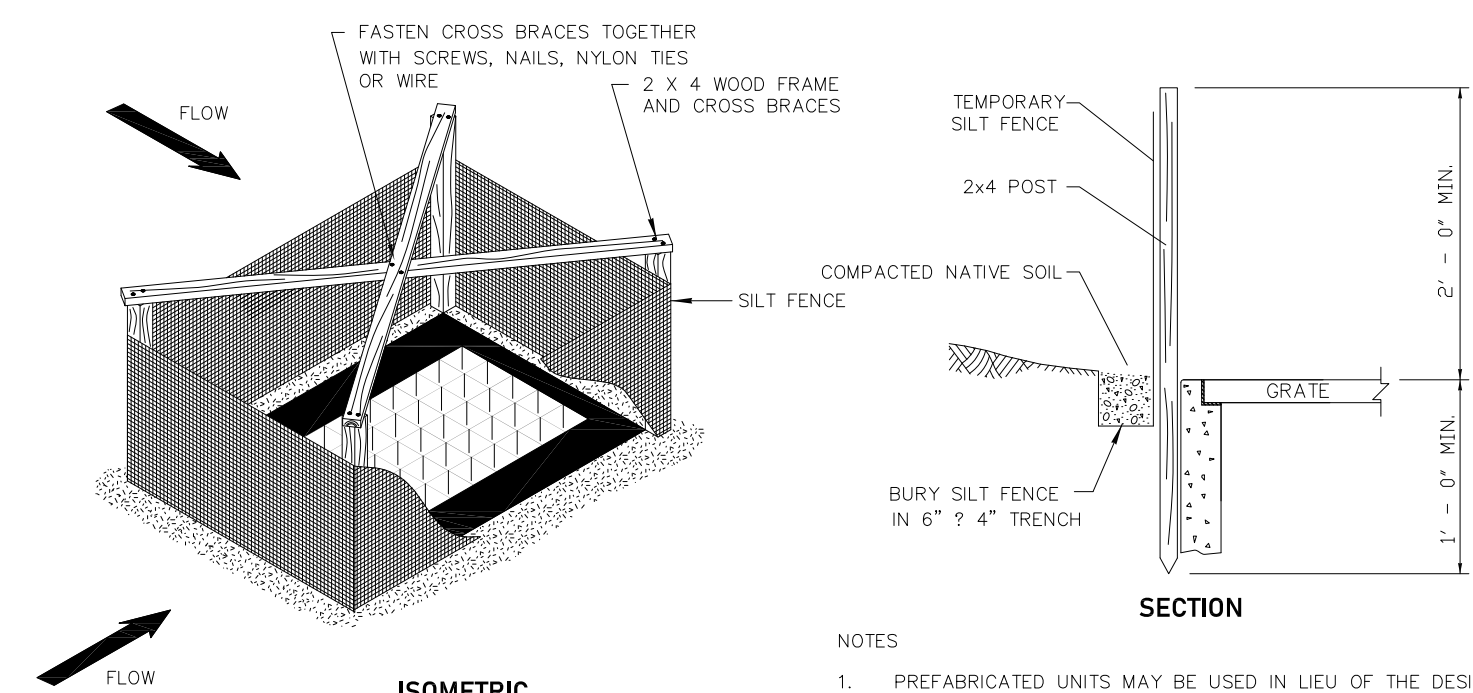


GENERAL EROSION CONTROL NOTES

1. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ANY WATER DISCHARGED FROM THE SITE DURING CONSTRUCTION SHALL MEET OR EXCEED STATE WATER QUALITY STANDARDS. SPECIFICALLY, THE TURBIDITY OF DISCHARGED WATER SHALL NOT EXCEED 29 NTU ABOVE THE BACKGROUND LEVEL. WATER QUALITY AND SILTATION CONTROL DEVICES SHALL REMAIN IN PLACE UNTIL EROSION CONTROL MEASURES ARE INSTALLED, ESTABLISHED AND ACCEPTED.
2. WHERE INADEQUATE, OR AS NECESSARY, SILT FENCES AND/OR HAY BALES SHALL BE PLACED ALONG THE PROJECT PERIMETER TO PREVENT SEDIMENT IN RUNOFF AND TURBID WATER FROM LEAVING THE SITE.
3. SILT FENCE/ENVIRONMENTAL FENCE SHALL BE PLACED ALONG ALL PROPERTY LINES, ADJACENT TO CONSERVATION TRACTS OR EASEMENTS, AND AROUND THE AREAS OF NATIVE VEGETATION. SUCH BARRICADES SHALL REMAIN IN PLACE UNTIL COMPLETION OF CONSTRUCTION.
4. ALL EXPOSED AREAS AT FINAL GRADE WILL RECEIVE SEED AND MULCH WITHIN 30 DAYS OF PAVEMENT CONSTRUCTION PER F.D.E.P. "GUIDELINES FOR USING EROSION AND SEDIMENT CONTROL PRACTICES"
5. THE CONTRACTOR MUST USE BEST MANAGEMENT PRACTICES (BMPs) DURING CONSTRUCTION TO MINIMIZE EROSION AND SEDIMENTATION AND TO PROPERLY MANAGE RUNOFF FOR BOTH STORM WATER GUARANTY AND QUALITY.
6. BEFORE SITE DISTURBANCE OCCURS PERIMETER CONTROL, SEDIMENT TRAPS, BASINS, AND DEVIATIONS SHOULD BE IN PLACE TO CONTROL RUNOFF AND CAPTURE SEDIMENT.
7. INLETS TO STORM SEWERS SHOULD BE PROTECTED BY SUITABLE FILTRATION DEVICES DURING CONSTRUCTION TO KEEP POLLINATES FROM ENTERING CONVENIENT SYSTEM.
8. TEMPORARY SEEDING SHALL BE APPLIED TO AREA THAT WILL NOT BE BROUGHT UP TO FINAL GRADE FOR 14 DAYS OR MORE TO REDUCE EROSION IN SEDIMENTATION.



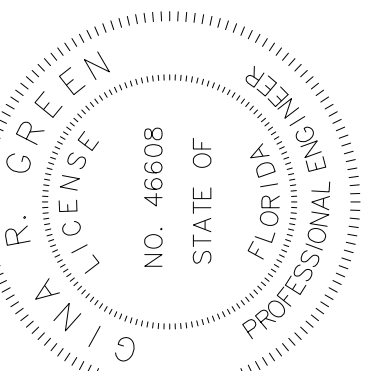
SILT FENCE DETAIL
N.T.S.



SILT FENCE
STORM DRAIN PROTECTION DETAIL
N.T.S.

- NOTES
1. PREFABRICATED UNITS MAY BE USED IN LIEU OF THE DESIGN SHOWN ON THIS PLAN UPON APPROVAL OF THE ENGINEER.
 2. STRUCTURE SHALL BE CONSTRUCTED SUCH THAT GEOTEXTILE MATERIAL SHALL BE FASTENED TO 2 X 4 POSTS CREATING A SEAMLESS JOINT.
 3. ENSURE THAT PONDING HEIGHT OF WATER DOES NOT CAUSE FLOODING ON ADJACENT ROADWAYS OR PRIVATE PROPERTY.

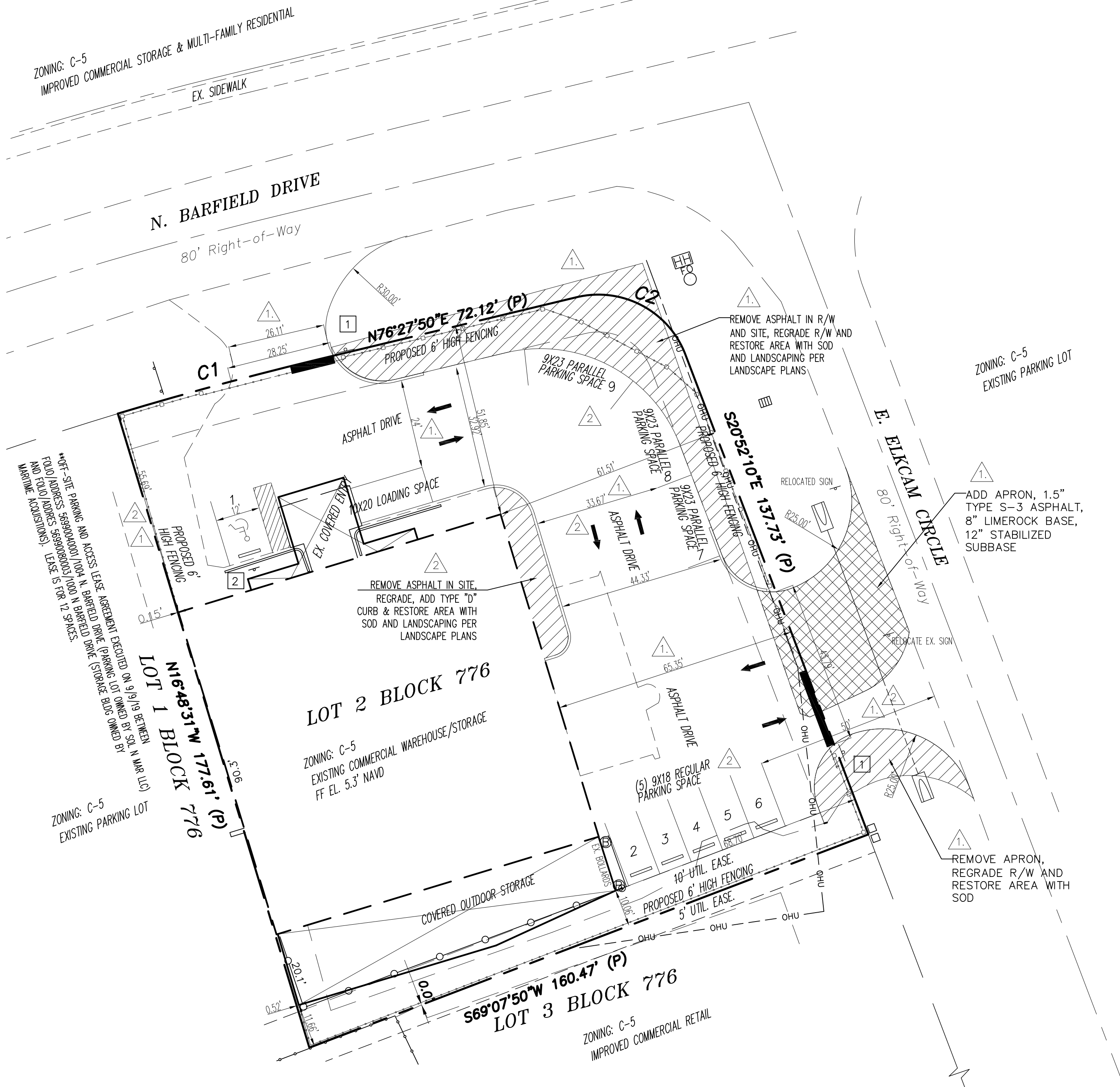
DRAWN BY : GRG		<div>REVISIONS</div> <table><thead><tr><th>NO.</th><th>DESCRIPTION</th><th>DATE</th></tr></thead><tbody><tr><td>2</td><td>REV PER CITY COMMENTS</td><td>09-01-20</td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr></tbody></table>		NO.	DESCRIPTION	DATE	2	REV PER CITY COMMENTS	09-01-20									
NO.	DESCRIPTION			DATE														
2	REV PER CITY COMMENTS			09-01-20														
CHECKED BY : GRG	DATE : OCT 2019																	
SCALE : 1"=20'	PROJECT NO. 19140																	
DWG FILE:WATER TRANSPORTATION																		



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(239) 348-0500 FAX (866) 72

PREPARED FOR:	MARITIME ACQUISITIONS, LLC
PROJECT:	WALKER TRANSPORTATION BUILDING
DESCRIPTION:	AERIAL MAP/EX. CONDITIONS/DEMOLITION PLAN







SITE DATA	EX. ACRES	EXIST. %	PROP. ACRES	PROP. SQ.FT.	PROP. %
TOTAL SITE AREA	0.60	100.0	0.597	26,014	100.0
IMPERVIOUS					
BUILDINGS	0.26	43.3	0.235	10,224	39.3
PAVEMENT (W/CURB)	0.27	45.0	0.254	11,050	42.5
PERVIOUS	0.07	11.7	0.109	4,740	18.2

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2. REDUCE VEHICULAR USE AREA PER SEC. 30-439.(b).
3. MODIFY SPACING OF TREES IN PERIMETER BUFFER (ALT. "C") SEC. 20-266.(c)(1) & SEC. 30-441.(g).
4. MODIFY SPACING OF TREES IN PERIMETER BUFFER (ALT. "a") SEC. 20-266.(c)(2) & SEC. 30-441.(g).
5. PLACE DECORATIVE RAIL FENCE IN LANDSCAPE BUFFER AT FRONT PROPERTY LINE, PLACE LANDSCAPING BEHIND FENCE SEC. 30-266.(e).

PROJECT DATA TABLE		
<u>SITE DATA</u>	<u>REQUIRED</u>	<u>PROVIDED</u>
ZONING	C-5	
USE	TRANSPORTATION STORAGE BLDG	
SURROUNDING ZONING	N: N. BARFIELD DR., THEN C-5	
	S: C-5	
	W: C-5	
	E: ELKCAM CIRCLE E., THEN C-5	
PROJECT AREA	26,014 SQ. FT. (0.60 ACRES)	
SETBACKS(PRINCIPAL)		
FRONT	25'	51.85'
SIDE	0' TO 10'	0.15'(W), 10.06' (S)
REAR	(CORNER LOT, NO REAR SETBACK)	N/A
BLDG HGT.	35'	20' GRADE TO MEDIAN
MIN. FLOOR AREA	700 SQ FT	8,152 SQ FT
MIN. LOT AREA	10,000 SQ FT	26,014.03 SQ FT
MIN. LOT WIDTH	100 FT	177.61'
MAX. LOT COVERAGE**	76%	81.8% (EXISTING SITE)

2 ** THE LOT COVERAGE WAS REDUCED FROM 88.3% COVERAGE FOR THE EXISTING IMPROVEMENTS TO 81.8% FOR THE PROPOSED IMPROVEMENTS. LANDSCAPING FOR THE SITE HAS BEEN INCREASED AND MAXIMIZED COMPARED TO LANDSCAPE AREA & BUFFERS PROVIDED FOR THE EXISTING SITE.

SIGNING & STRIPING LEGEND

	30"X30" STOP SIGN W/24" STOP BAR (R1-1)
	HANDICAP PARKING SIGN W/ STRIPING
	DENOTES EXISTING POWER POLE
A.E.	DENOTES ACCESS EASEMENT
C.U.E.	DENOTES COUNTY UTILITY EASEMENT
D.E.	DENOTES DRAINAGE EASEMENT
	TRAFFIC FLOW
L.B.E.	DENOTES LANDSCAPE BUFFER EASEMENT
U.E.	DENOTES PUBLIC UTILITY EASEMENT

SIGNING AND STRIPING NOTES:

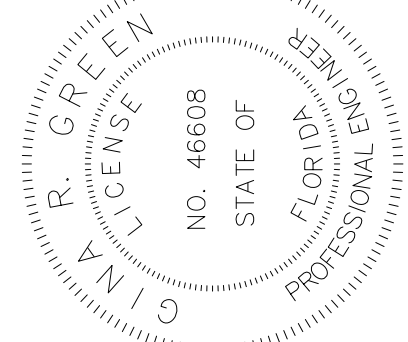
1. ALL SIGNING, STRIPING AND MARKINGS SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, SECTION 700 AND 706 LATEST REVISION.
2. ALL STRIPING SHALL BE PAINT OR THERMOPLASTIC IN ACCORDANCE WITH FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, SECTION 711.
3. ALL STRIPING IN PUBLIC RIGHTS-OF-WAY SHALL BE THERMOPLASTIC IN ACCORDANCE WITH FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, SECTION 711 & INDEX 711-001.
4. ADA DETECTABLE MARKINGS AND CONCRETE SIDEWALKS IN PUBLIC RIGHTS-OF-WAY SHALL BE IN ACCORDANCE WITH FDOT STANDARD SPECIFICATIONS FOR ROAD AND SECTION 522 & INDEX 522-002.

PERIMETER LANDSCAPE BUFFERING	
ADJACENT NORTH BARFIELD DRIVE RIGHT-OF-WAY, NORTH SIDE	10' WIDE, TYPE "C"
ADJACENT C-5, SOUTH SIDE	5' WIDE, TYPE "A"
ADJACENT EAST ELKCAM CIRCLE RIGHT-OF-WAY, EAST SIDE	10' WIDE, TYPE "C"
ADJACENT C-5, WEST SIDE	5' WIDE, TYPE "A"

GENERAL NOTES

1. THE REVIEW AND APPROVAL OF IMPROVEMENT PLANS DOES NOT AUTHORIZE THE CONSTRUCTION OF REQUIRED IMPROVEMENTS WHICH ARE INCONSISTENT WITH THE EXISTING EASEMENTS OF RECORD.
2. THE PROPERTY OWNER IS RESPONSIBLE FOR ALL DEAD LANDSCAPE MATERIAL AND FOR MAINTENANCE OF THE REQUIRED IRRIGATION SYSTEM.
3. SILT FENCE/ENVIROFENCE SHALL BE PLACED ALONG ALL PROPERTY LINES THAT ARE ADJACENT TO CONSERVATION TRACTS OR EASEMENTS, AND AROUND AREAS OF NATIVE VEGETATION. SUCH BARRICADES SHALL REMAIN IN PLACE UNTIL COMPLETION OF CONSTRUCTION.
4. ALL DIRECTIONAL ARROWS, WITHIN PROJECT, ARE FOR TRAFFIC FLOW DELINEATION PURPOSES FOR CITY OF MARCO STAFF REVIEW. THEY ARE NOT REQUIRED AS PAVEMENT MARKINGS.
5. PROPERTY OWNER SHALL BE RESPONSIBLE FOR OPERATION AND MAINTENANCE AND MANAGEMENT OF INFRASTRUCTURE, COMMON AREAS, OPEN SPACE, DRIVEWAYS & PARKING & EASEMENTS.
6. EXOTIC VEGETATION AS DEFINED BY THE CITY OF MARCO ISLAND CODES SHALL BE REMOVED FROM THE SITE AND SUBSEQUENT ANNUAL EXOTIC REMOVAL (IN PERPETUITY) SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
7. IF DURING THE COURSE OF SITE CLEARING, EXCAVATION OR OTHER CONSTRUCTION ACTIVITY, A HISTORIC OR ARCHAEOLOGICAL ARTIFACT OR OTHER INDICATOR IS FOUND, ALL DEVELOPMENT WITHIN THE AREA NECESSARY TO PROTECT THE DISCOVERY SHALL BE IMMEDIATELY STOPPED, AND THE PROCEDURES OUTLINED IN THE COLLIER COUNTY LAND DEVELOPMENT CODE (LDC) SHALL BE FOLLOWED.
8. THE PROPERTY OWNER IS RESPONSIBLE FOR THE PERPETUAL MAINTENANCE OF ALL FEATURES OF THE SURFACE WATER MANAGEMENT SYSTEM AS OUTLINED BY THE DESIGN ENGINEER ON THESE DRAWINGS.
9. NO VEGETATION IS PRESENT ON SITE. NO CLEARING IS REQUIRED FOR THIS SITE.
10. WASTE MANAGEMENT WILL BE PROVIDED BY THE EXISTING FACILITIES PRESENT ON SITE. PROPOSED USE IF PART OF THE EXISTING COMMERCIAL MARINA.
11. DAMAGE TO THE PUBLIC RIGHT-OF-WAY ADJACENT TO THE PROJECT CAUSED BY CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY OWNER/CONTRACTOR IN ACCORDANCE WITH THE CITY OF MARCO ISLAND CODES IN PLACE AT TIME OF DAMAGE AND WILL BE COMPLETED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.

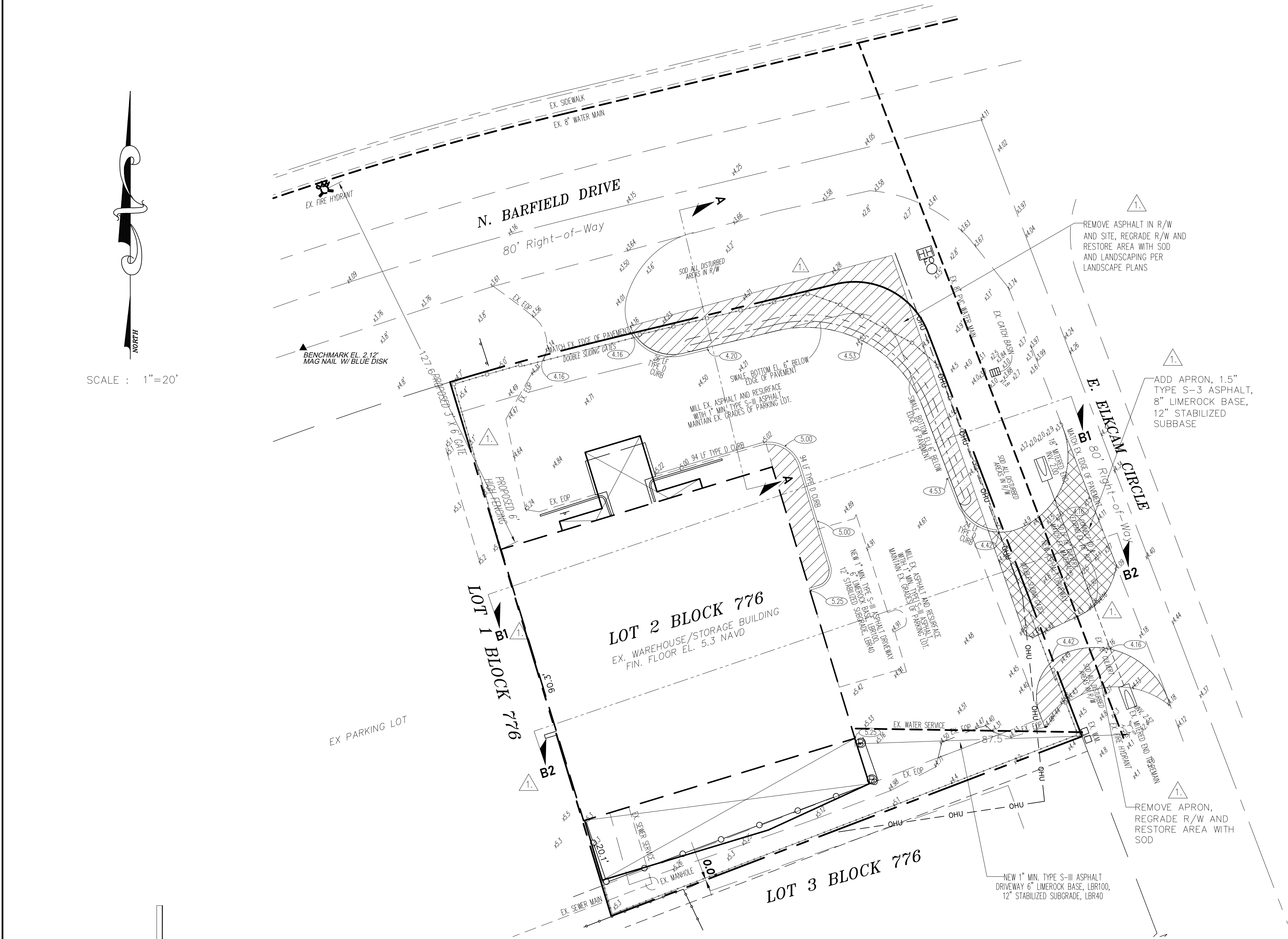
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REVISIONS			
NO.	DESCRIPTION	DATE	
1	REV PER CITY COMMENTS	08-30-20	
2	REV PER CITY COMMENTS	09-01-20	
3	REV PER CITY COMMENTS/AIR DEVIATION REQUEST	10-5-20	
PROJECT NO. 19140			
DWG FILENAME: TRANSPORT			













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PREPARED FOR:	MARITIME ACQUISITIONS, LLC
PROJECT:	WALKER TRANSPORTATION BUILDING
DESCRIPTION:	SITE LAYOUT PLAN
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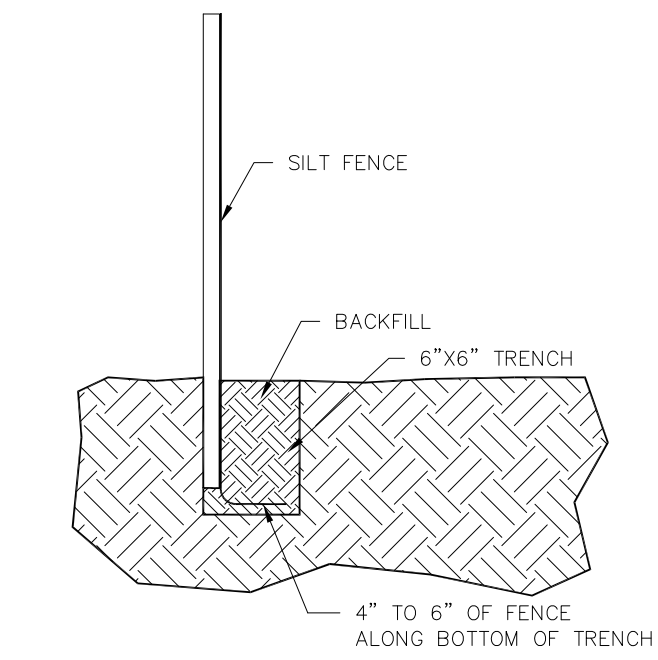
UTILITY, DRAINAGE & PAVING LEGEND			
	PROPOSED 6" SEWER SERVICE W/ CLEANOUT ASSEMBLY (SINGLE)	A.E.	DENOTES ACCESS EASEMENT
	EXISTING FIRE HYDRANT ASSEMBLY W/ GATE VALVE	D.E.	DENOTES DRAINAGE EASEMENT
	EXISTING GATE VALVE	U.E.	DENOTES UTILITY EASEMENT
	EXISTING UTILITY (WATER, SEWER, OR DRAINAGE) LINE	L.E.	DENOTES LANDSCAPE EASEMENT
	PROPOSED UTILITY (WATER, SEWER, OR DRAINAGE) LINE	F.F.	DENOTES PROPOSED FINISHED FLOOR
	EXISTING SANITARY SEWER MANHOLE	L.B.E.	DENOTES LANDSCAPE BUFFER EASEMENT
	PROPOSED (SINGLE) METER W/ PVC SERVICE LINE AND REDUCED PRESSURE BACKFLOW PREVENTION ASSEMBLY.	WM	DENOTES WATER METER/WATER MAIN
	DENOTES PROPOSED ELEVATION (NGVD)	IM	DENOTES IRRIGATION WATER METER
	DENOTES EXISTING ELEVATION (NGVD)	BFP	DENOTES BACKFLOW PREVENTER
	DENOTES FLOW DIRECTION	FDC	DENOTES FIRE DEPARTMENT CONNECTION
		GV	DENOTES GATE VALVE
		FH	DENOTES FIRE HYDRANT
		GV	DENOTES GATE VALVE

GENERAL DRAINAGE & PAVING NOTES

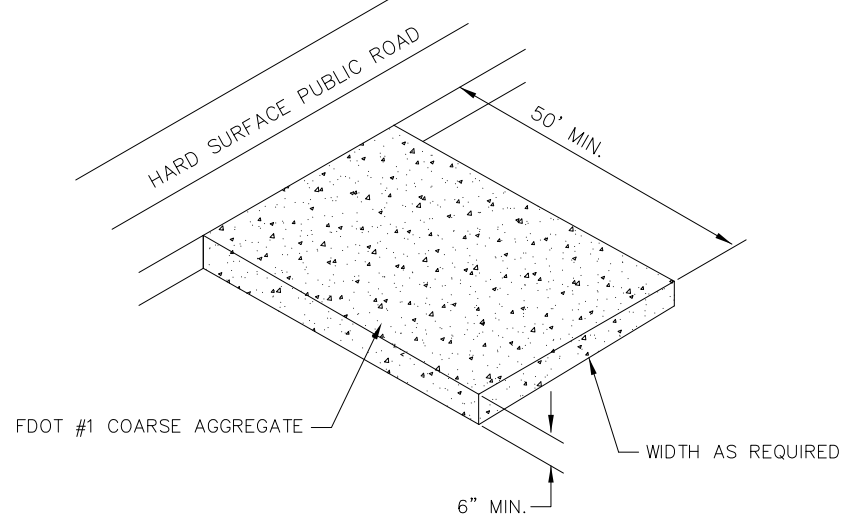
- FEMA FIRM MAP - ZONE "AE"(EL8.0), MARCO ISLAND PANEL No. 12021C0828H, NATIONAL FLOOD INSURANCE RATE MAPS, MAY 16, 2012.
- MINIMUM PARKING ELEVATION 4.16' N.A.V.D. 88
- EXISTING GROUND ELEVATIONS VARY FROM 4.2' - 5.3' N.A.V.D.
- ASPHALT APRON IN PUBLIC R/W SHALL BE 1.5" TYPE S-III ASPHALT W/ 8" MIN LIMEROCK BASE LBR100, 12" STABILIZED SUBGRADE BASE LBR40.
- SOD IS CONSIDERED FINISHED GRADE AND SHALL NOT INHIBIT DRAINAGE FLOW PATTERNS. FINAL GRADE PRIOR TO SODDING SHALL BE 2" BELOW EDGE OF PAVEMENT.
- ALL OPEN AREAS W/ FLOW ARROWS SHALL BE FILLED AND GRADED TO ALLOW FOR POSITIVE DRAINAGE TO THE RIGHTS-OF-WAY, AND/OR INTERNAL ROADWAYS.
- ALL INTERNAL ROADWAYS SHALL BE 1" ASPHALTIC CONCRETE, 6" LIMEROCK BASE, 12" STAB. SUBGRADE.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ANY WATER DISCHARGED FROM THE SITE DURING CONSTRUCTION SHALL MEET OR EXCEED STATE WATER QUALITY STANDARDS. SPECIFICALLY, THE TURBIDITY OF DISCHARGED WATER SHALL NOT EXCEED 29 NTU ABOVE THE BACKGROUND LEVEL. WATER QUALITY AND SILTATION CONTROL DEVICES SHALL REMAIN IN PLACE UNTIL EROSION CONTROL MEASURES ARE INSTALLED, ESTABLISHED AND ACCEPTED.
- WHERE INDICATED, OR AS NECESSARY, SILT FENCES AND/OR HAY BALES SHALL BE PLACED ALONG THE PROJECT PERIMETER TO PREVENT SEDIMENT IN RUNOFF AND TURBID WATER FROM LEAVING THE SITE.
- THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE SITE AND THE CONTRACT DOCUMENTS, AND SHALL CONDUCT HIS WORK IN STRICT ACCORDANCE WITH ALL PERMITS AND APPROVALS OBTAINED FOR THIS PROJECT.
- THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE AGENCY PRIOR TO COMMENCING WORK WITHIN SUCH AGENCY'S JURISDICTION.
- ALL MATERIAL, DEBRIS, UNSUITABLE EARTH, ETC. OF NO SALVAGE VALUE SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE LEGALLY DISPOSED OF BY THE CONTRACTOR.
- SEE SHEET 4 OF 4 FOR DETAILS OF CROSS-SECTIONS.
- SILT FENCE/ENVIROFENCE SHALL BE PLACED ALONG ALL PROPERTY LINES, ADJACENT TO CONSERVATION TRACTS OR EASEMENTS, AND AROUND THE AREAS OF NATIVE VEGETATION. SUCH BARRICADES SHALL REMAIN IN PLACE UNTIL COMPLETION OF CONSTRUCTION.
- THE REVIEW AND IMPROVEMENT PLANS DOES NOT AUTHORIZE THE CONSTRUCTION OF REQUIRED IMPROVEMENTS WHICH ARE INCONSISTENT WITH EXISTING EASEMENTS OF RECORD.
- THE PROPERTY OWNER WILL BE RESPONSIBLE FOR THE PERPETUAL MAINTENANCE OF ALL FEATURES OF THE SURFACE WATER MANAGEMENT SYSTEM AS OUTLINED BY THE DESIGN ENGINEER ON THESE DRAWINGS.
- ADA ACCESSIBILITY IS PROVIDED BY THE INTERNAL SIDEWALK SYSTEM AND ARE NO STEEPER THAN 1:20 RUNNING SLOPE AND 1:48 CROSS SLOPE.
- THE PROPOSED STABILIZED SUBGRADE SHALL HAVE L.B.R. OF 40 AND SHALL BE COMPACTED TO 98% MIN. DENSITY AS DETERMINED BY AASHTO T-180.
- EXISTING BUILDING SHALL BE WATERPROOFED IN ACCORDANCE WITH FEMA REQUIREMENTS AND IN ACCORDANCE WITH THE ARCHITECTURAL PLANS PREPARED BY C MATT JOYNER, PA.
- THE CONTRACTOR SHALL VERIFY ALL WATER AND SEWER SERVICE LOCATIONS PRIOR TO INSTALLTION AND CONNECTION OF NEW BATHROOMS.

GENERAL EROSION CONTROL NOTES

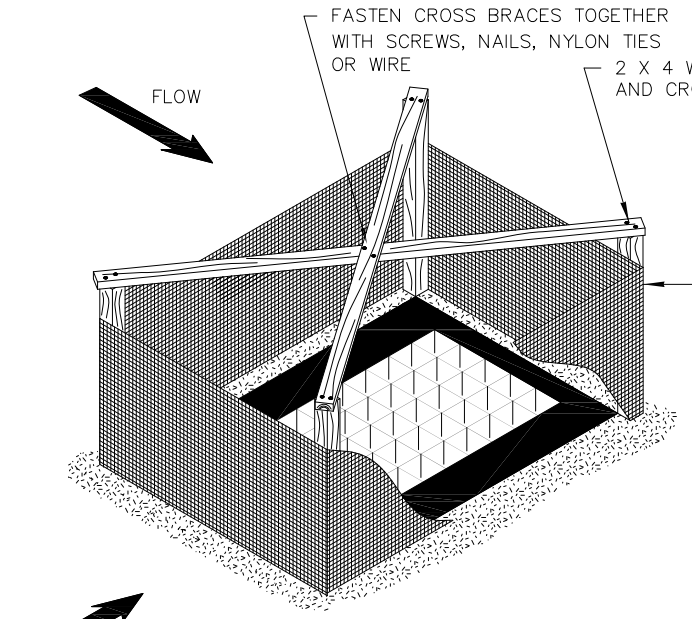
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- TEMPORARY SEEDING SHALL BE APPLIED TO AREA THAT WILL NOT BE BROUGHT UP TO FINAL GRADE FOR 14 DAYS OR MORE TO REDUCE EROSION IN SEDIMENTATION.
- SILT FENCE SHALL BE PLACED ALONG ALL PROPERTY LINES ADJACENT TO THE PROPOSED CONSTRUCTION PRIOR TO COMMENCE OF CONSTRUCTION,



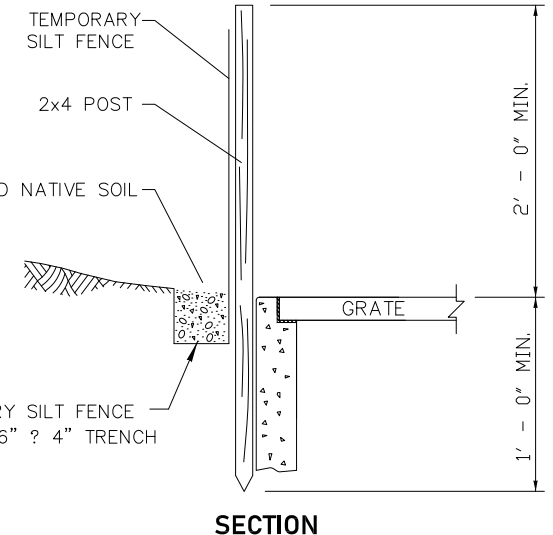
SILT FENCE DETAIL
N.T.S.



GRAVEL CONSTRUCTION ENTRANCE
N.T.S.



ISOMETRIC
(ENTIRE FENCE NOT SHOWN FOR CLARITY)



SECTION

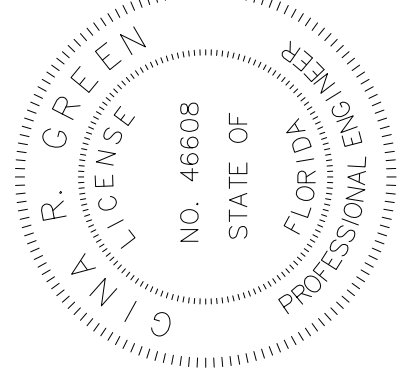
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- STRUCTURE SHALL BE CONSTRUCTED SUCH THAT GEOTEXTILE MATERIAL SHALL BE FASTENED TO 2 X 4 POSTS CREATING A SEAMLESS JOINT.
- ENSURE THAT PONDING HEIGHT OF WATER DOES NOT CAUSE FLOODING ON ADJACENT ROADWAYS OR PRIVATE PROPERTY.

SILT FENCE
STORM DRAIN PROTECTION DETAIL
N.T.S.

REVISIONS

NO.	DESCRIPTION	DATE
1	REV PER CITY COMMENTS	06-30-20
2	REV PER CITY COMMENTS	09-01-20



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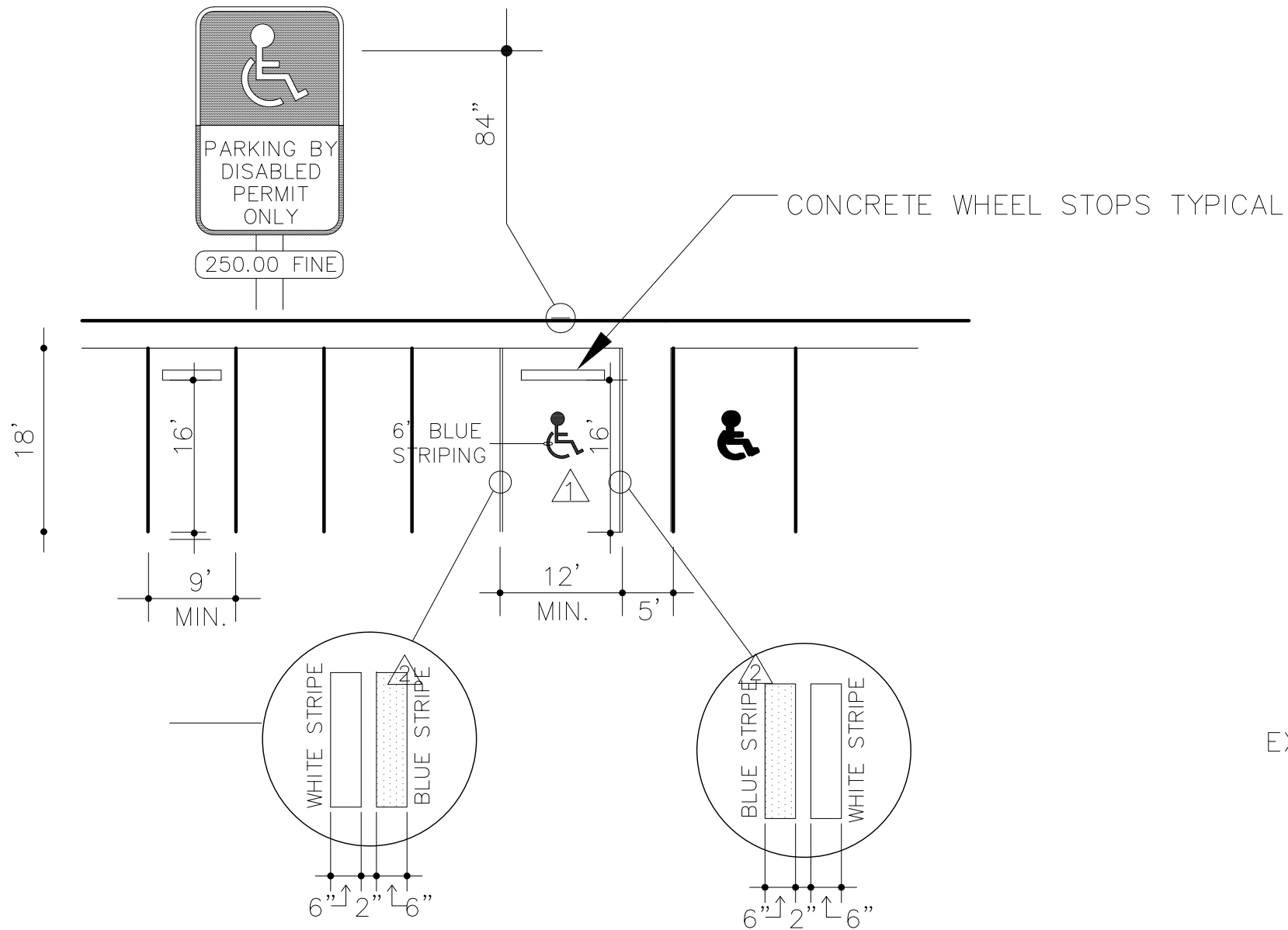
PREPARED FOR: MARITIME ACQUISITIONS, LLC

PROJECT: WALKER TRANSPORTATION CENTER

DESCRIPTION: UTILITY, DRAINAGE & EROSION CONTROL PLAN
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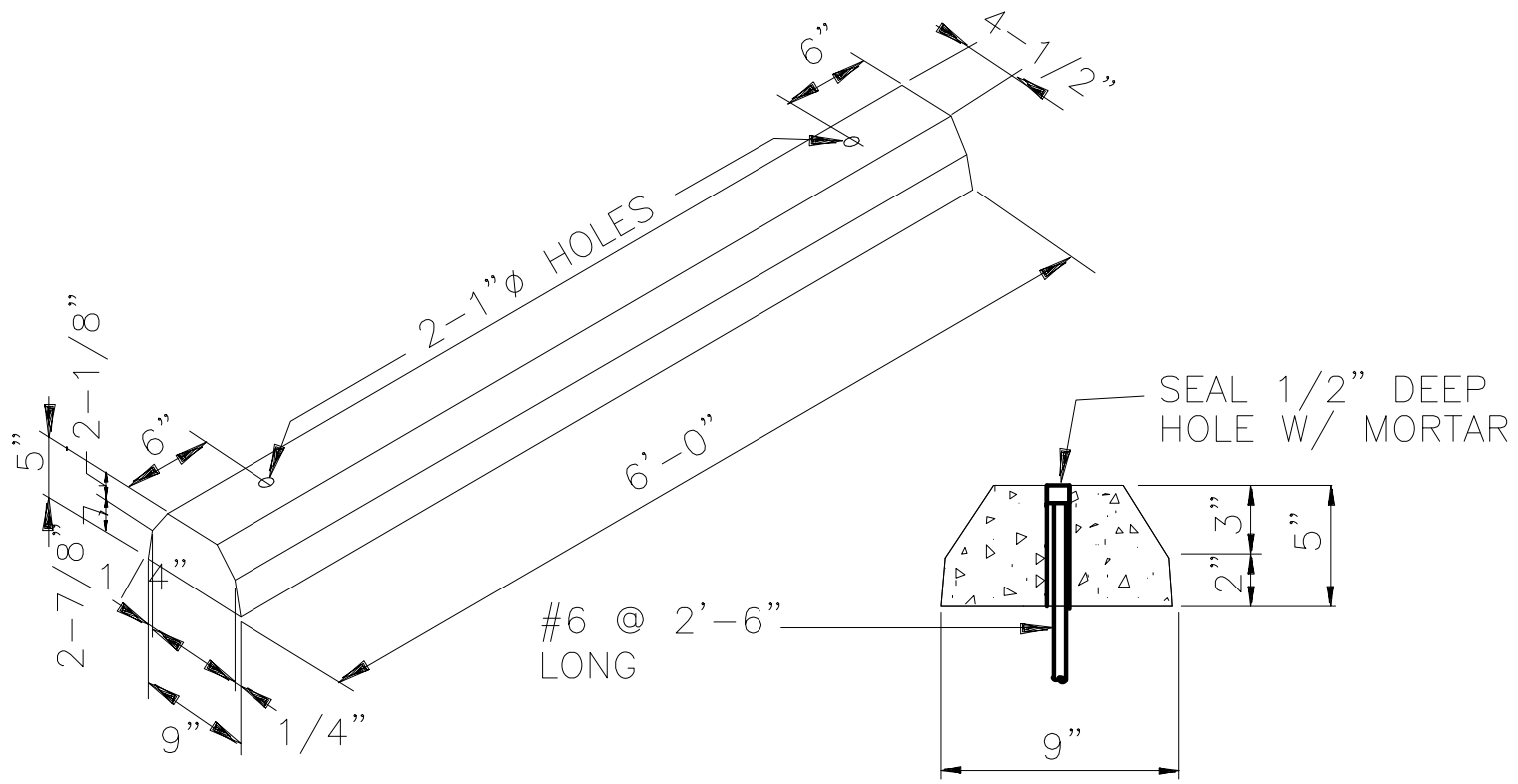
ROADWAY PAVING NOTES

- 1 THE PROPOSED STABILIZED SUBGRADE SHALL HAVE L.B.R. OF 40 AND SHALL BE COMPACTED TO 98% MIN. DENSITY AS DETERMINED BY AASHTO T-180.
- 2 THE PROPOSED LIMEROCK BASE SHALL HAVE L.B.R. OF 100 AND SHALL BE PLACED IN TWO (2) LIFTS, WITH EACH LIFT COMPACTED TO 98% MIN. DENSITY AS DETERMINED BY AASHTO T-180.
- 3 LIMEROCK BASE SHALL BE PRIMED WITH TYPE RC-70 BITUMINOUS MATERIAL OF SS-I (ASPHALT EMULSION) AND SHALL COMPLY WITH SECTION 270-2 OF THE STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION (CURRENT EDITION).



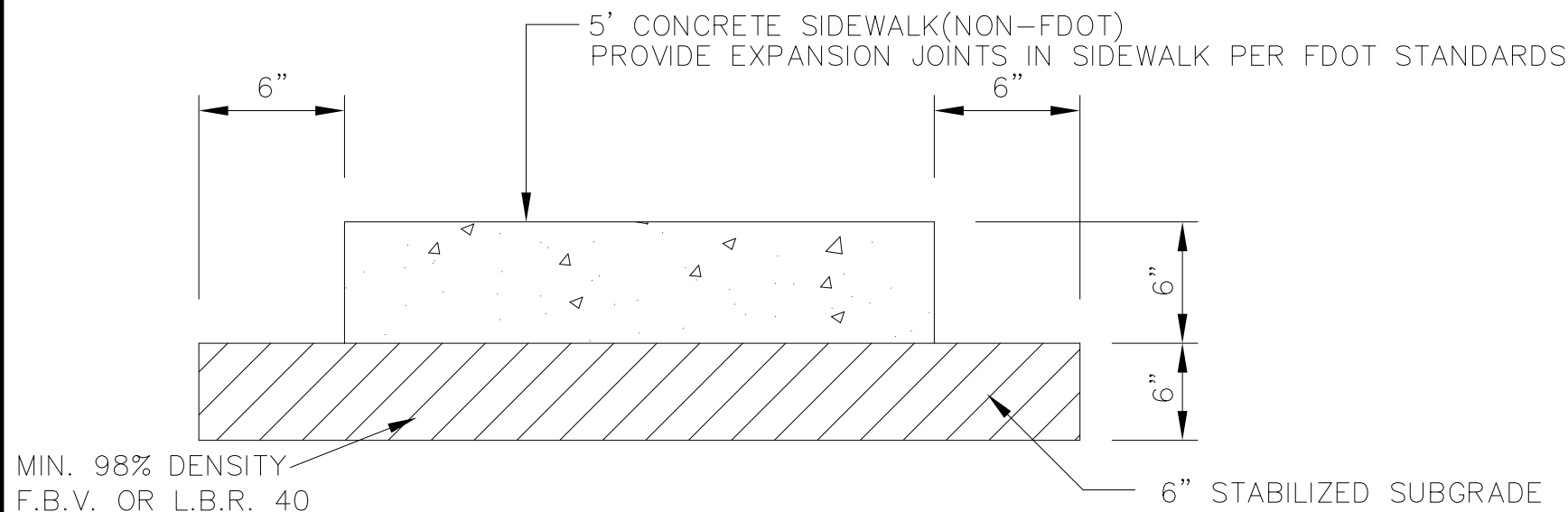
HANDICAPPED PARKING DETAIL

N.T.S.



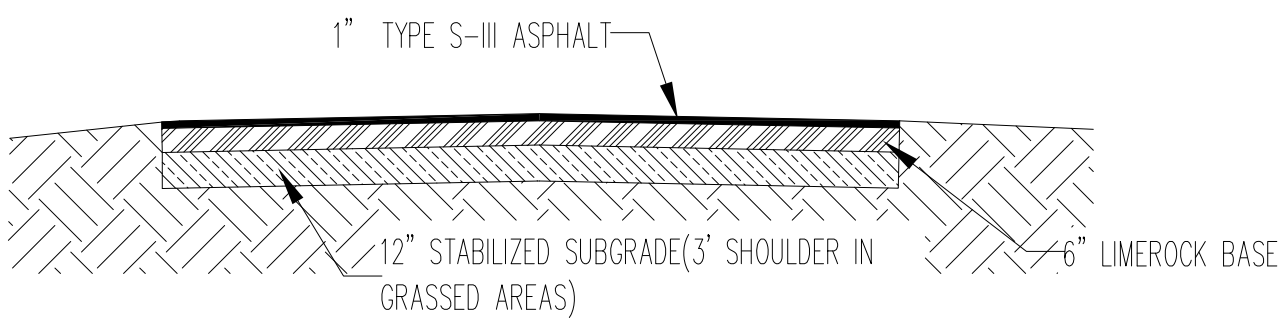
PRECAST CONCRETE WHEEL STOP

N.T.S.



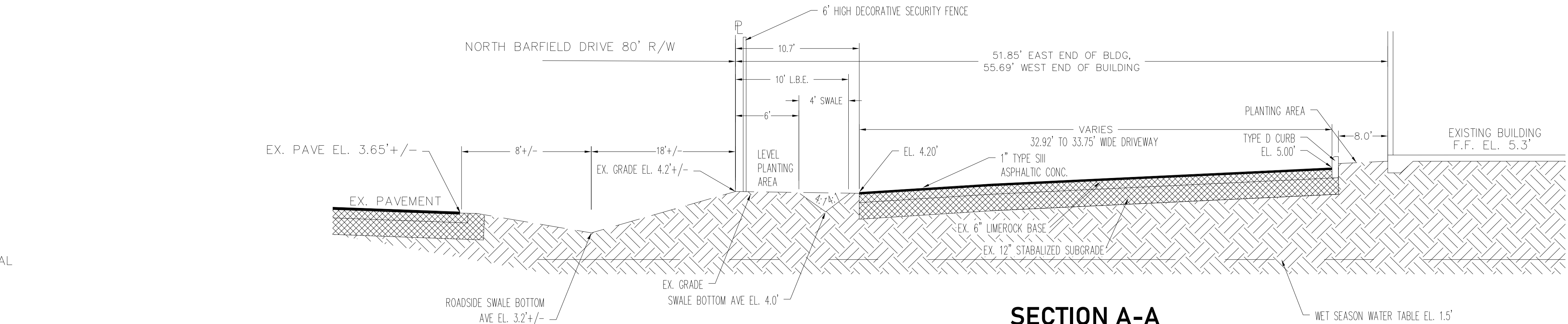
SIDEWALK DETAIL

N.T.S.



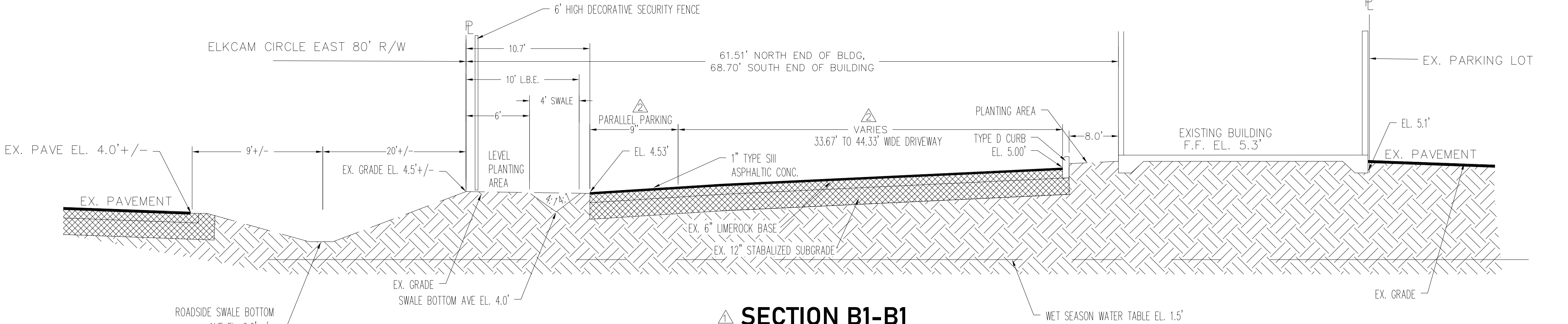
TYPICAL PARKING/AISLEWAY CROSS SECTION

CROSS SECTION SHALL BE USED IN AREAS WHERE THE DEMOLITION OF THE SITE IS IN THE AREAS OF FUTURE PARKING AREAS OR DRIVEWAYS.



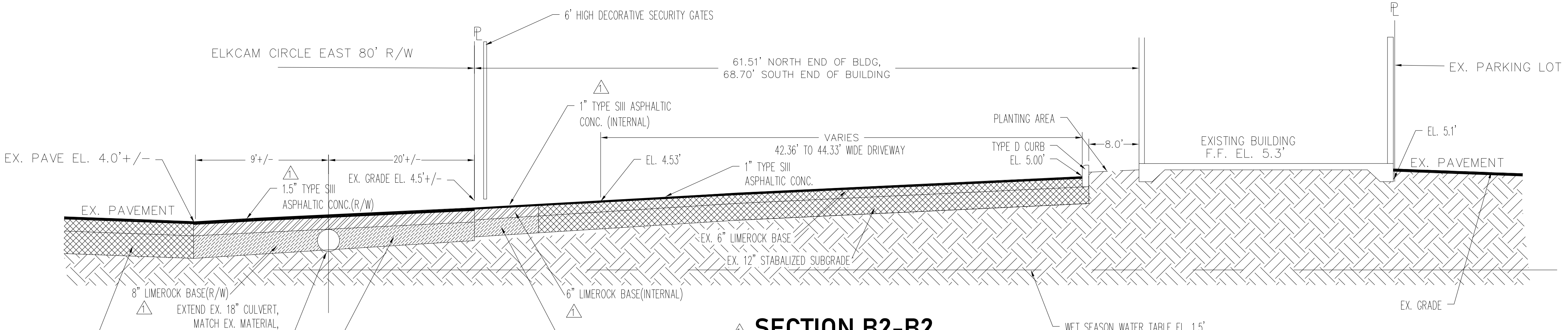
SECTION A-A

N.T.S.



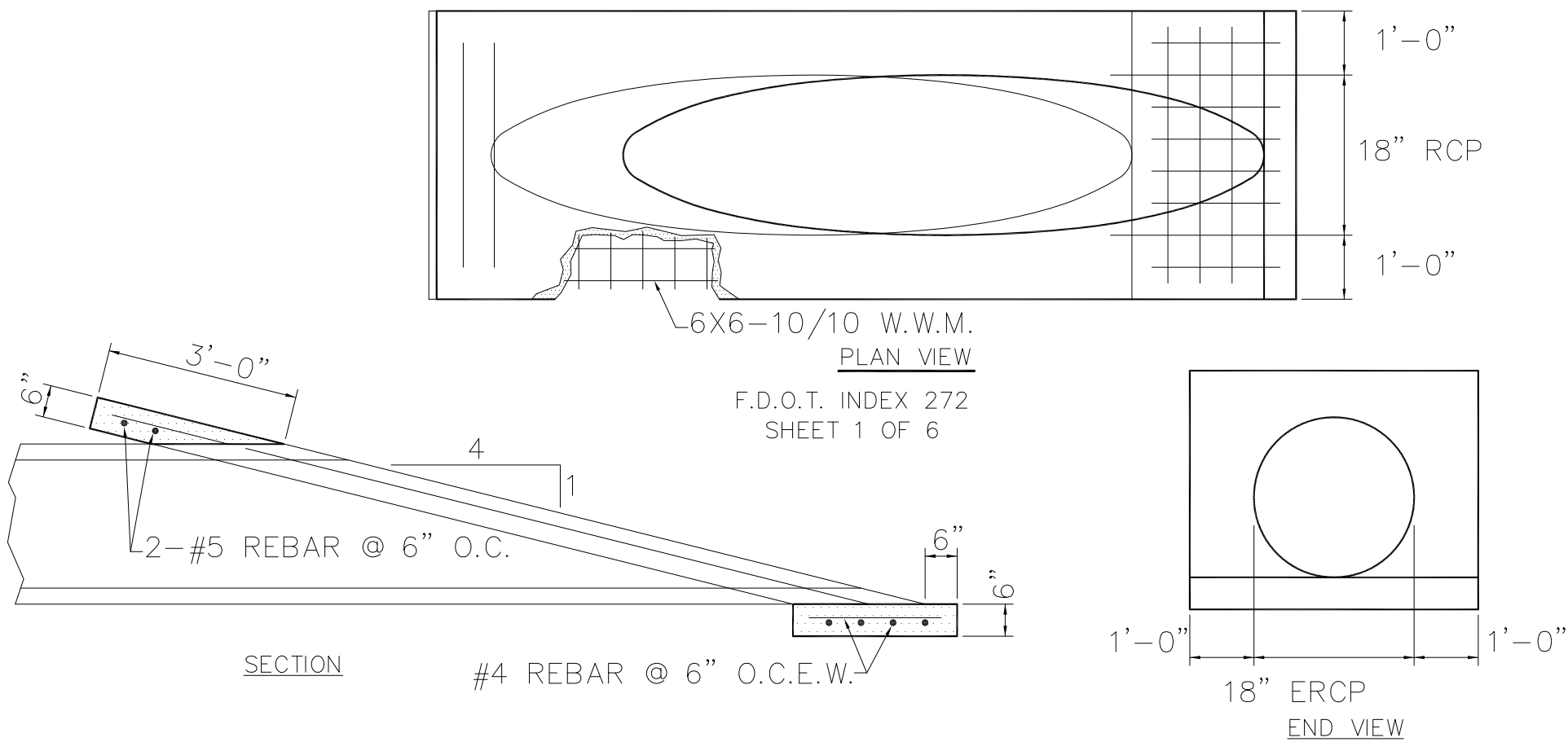
SECTION B1-B1

N.T.S.



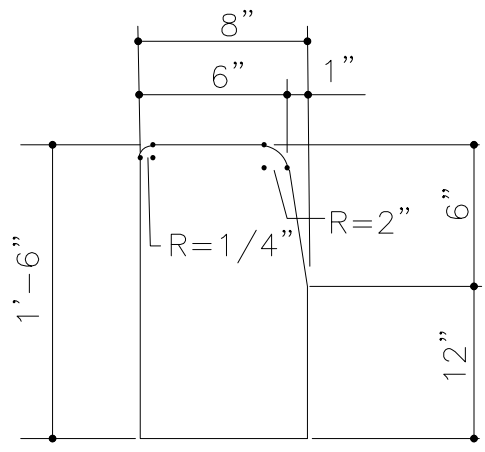
SECTION B2-B2

N.T.S.



MITERED END DETAIL

N.T.S.

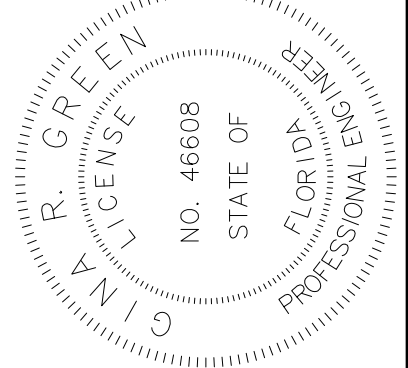


TYPE "D" CURB/ROOT BARRIER

N.T.S.

REVISIONS			
NO.	DESCRIPTION	DATE	
1	REV PER CITY COMMENTS	06-30-20	
2	REV PER CITY COMMENTS	09-01-20	

DRAWN BY : GRG	CHECKED BY : GRG
DATE : OCT 2019	SCALE : N.T.S.
PROJECT NO. 19140	DMC FILE NAME: BAYVIEW



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(239) 348-0500 FAX (866) 720-4823

PREPARED FOR: MARITIME ACQUISITIONS, LLC

PROJECT: WALKER TRANSPORTATION CENTER

DESCRIPTION:

CROSS SECTIONS

SHEET: 4 OF 4