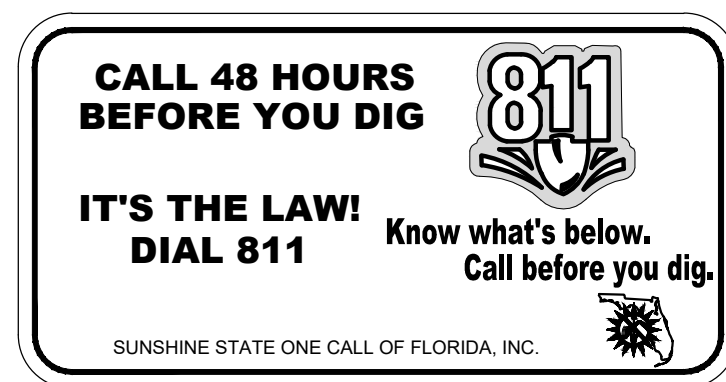


NOTES:

ALL **EXISTING & PROPOSED** GRADE ELEVATIONS SHOWN ON THESE PLANS REFER TO **N.A.V.D. '88**.

THESE PLANS MAY HAVE BEEN REDUCED OR INCREASED IN SIZE BY REPRODUCTION(S). THIS MUST BE CONSIDERED WHEN OBTAINING SCALED DATA.



UTILITY COMPANIES

WASTEWATER:
CITY OF MARCO ISLAND UTILITIES
(239) 389-5031

POTABLE WATER:
CITY OF MARCO ISLAND UTILITIES
(239) 389-5031

SITE DATA TABLE

SITE ADDRESS: 921 WINDWARD DRIVE
MARCO ISLAND, FLORIDA 34145

PROPERTY STRAP #: 773400 777 127B08
PARCEL CONTROL #: 570404000008
SITE AREA: 23,664 SF (0.54 AC)
PROPOSED BUILDING USE: WAREHOUSES
CONSTRUCTION TYPE: C.B.S.
MAX. BUILDING HEIGHT: 35'
MAX. IMPERVIOUS AREA: 76%
FEMA FLOOD ZONE: "AE" ELEV. 8' N.A.V.D.
FLUCCS CODE: (28) IMPROVED COMMERCIAL

PROPOSED BUILDING

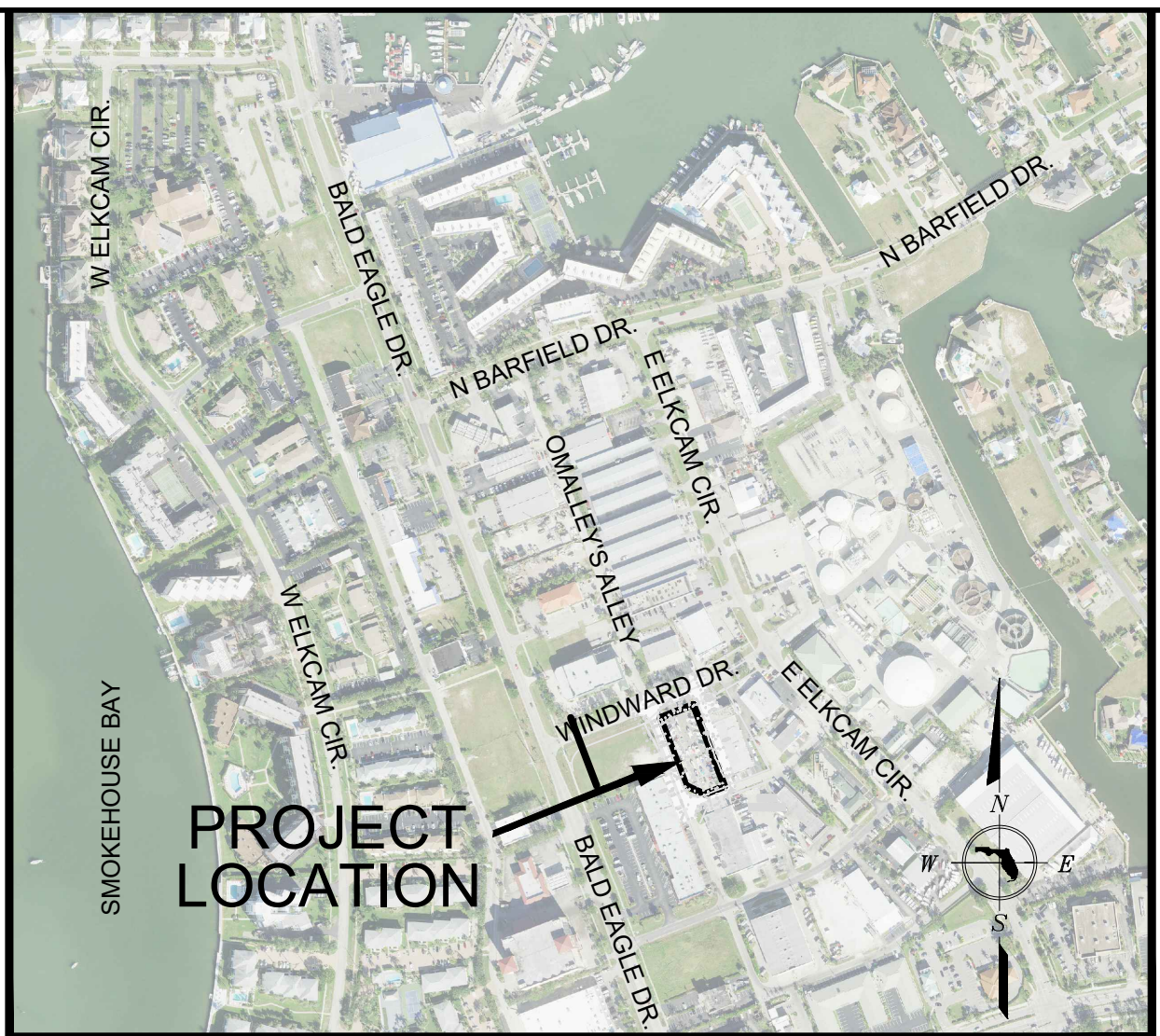
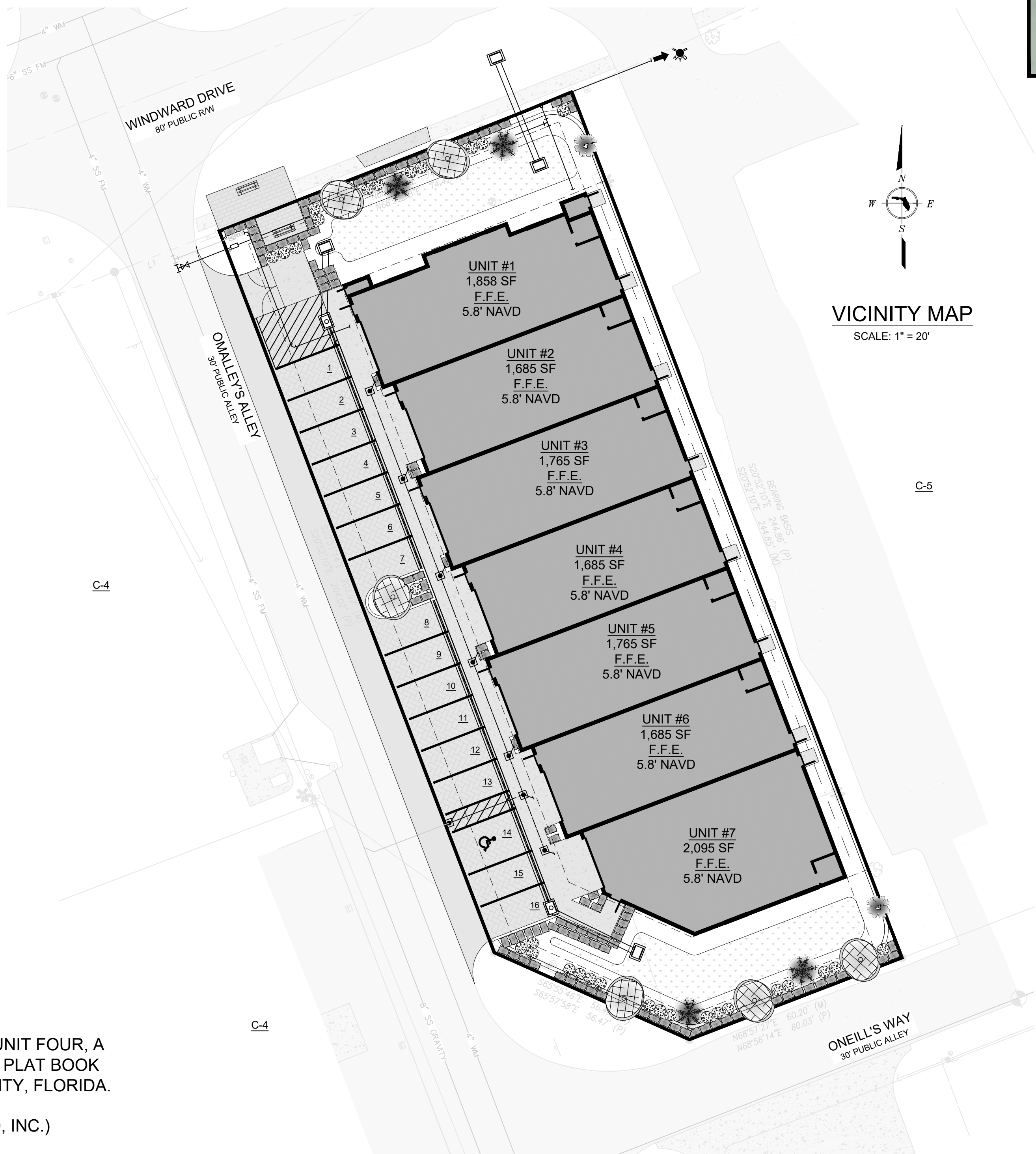
1 - BUILDING (WAREHOUSES)
TOTAL BUILDING AREA: 12,538 SF
NUMBER OF UNITS: 7

LEGAL DESCRIPTION

LOT 12, BLOCK 777, A REPLAT OF A PORTION OF MARCO BEACH UNIT FOUR, A SUBDIVISION ACCORDING TO THE PLAT THEREOF AS RECORD IN PLAT BOOK 12, PAGES 19 TO 21, OF THE PUBLIC RECORDS OF COLLIER COUNTY, FLORIDA.

(PREPARED BY: DAVID S. DAGOSTINO, PSM; DAGOSTINO & WOOD, INC.)

SITE CONSTRUCTION PLANS
FOR
WINDWARD DRIVE WAREHOUSES
SECTION 08, TOWNSHIP 52, RANGE 26
MARCO ISLAND, FLORIDA



LOCATION MAP
N.T.S.

PROJECT AREA BREAKDOWN

	SQUARE FEET	ACRES	PERCENTAGE
TOTAL	23,664	0.543	100.00%
BUILDING	12,538	0.288	52.98%
CONCRETE SIDEWALK AND DUMPSTER	1,896	0.044	8.01%
TOTAL IMPERVIOUS	14,434	0.331	61.00%
PERVIOUS PAVERS PARKING	3,399	0.078	14.36%
OTHER PERVIOUS	5,831	0.134	24.64%
TOTAL PERVIOUS	9,230	0.212	39.00%

ADJACENT ZONING & FUTURE LAND USE DESIGNATION

	ZONING	F.L.U. DESIGNATION
SITE:	(C-5)	(HEAVY COMMERCIAL DISTRICT)
NORTH:	(ROW)	(HEAVY COMMERCIAL DISTRICT)
WINDWARD DR.		
WEST:	(C-5)	(TOWN CENTER/MIXED USE)
O'MALLEYS ALLEY		
SOUTH:	(ROW)	(HEAVY COMMERCIAL DISTRICT)
ONEILLS WAY		
EAST:	(ROW)	(HEAVY COMMERCIAL DISTRICT)
WAREHOUSES		

INDEX OF SHEETS

- COVER SHEET
- GENERAL NOTES
- AERIAL, EXIST. CONDITIONS, DEMOLITION & EROSION CONTROL PLAN
- SITE DIMENSION PLAN
- GRADING, PAVING & DRAINAGE PLAN
- UTILITY PLAN
- CROSS SECTIONS
- GRADING, PAVING & DRAINAGE DETAILS
- UTILITY DETAILS
- LANDSCAPE, IRRIGATION & STRIPING PLAN
- SITE LIGHTING PLAN


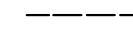

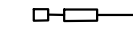

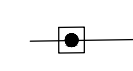

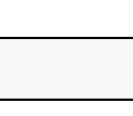
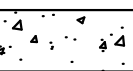
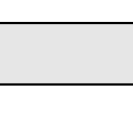



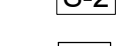
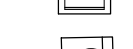

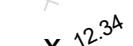
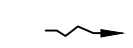




GENERAL CONSTRUCTION NOTES:

1. THE CONTRACTOR SHALL BE REQUIRED TO MEET ALL "MAINTENANCE OF TRAFFIC" REQUIREMENTS AS PRESCRIBED IN THE CURRENT "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", F.H.W.A. MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, PART VI, CURRENT EDITION, AND ALL APPLICABLE SECTIONS OF THE ROAD AND TRAFFIC DESIGN STANDARDS, FLORIDA DEPARTMENT OF TRANSPORTATION, CURRENT EDITION.
2. FINAL ALIGNMENTS, MATERIALS, COLORS, FINISHES, FOR PEDESTRIAN HARDSCAPE AREAS MAY BE ADJUSTED ON SITE BY OWNER OR OWNER REPRESENTATIVE.
3. THE CONTRACTOR SHALL COMPLY WITH CURRENT FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) SPECIFICATIONS. SPECIFICALLY IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE "SPECIFICATIONS FOR ROAD BRIDGE CONSTRUCTION" AND THE "ROAD AND TRAFFIC DESIGN STANDARDS", UNLESS OTHERWISE NOTED.
4. CONTRACTOR SHALL VERIFY ALL BUILDING DIMENSIONS WITH THE ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION. ANY DISCREPANCY NOT CALLED TO THE ENGINEER'S ATTENTION PRIOR TO THE ACCOMPLISHMENT OF THE WORK SHALL BE CORRECTED BY AND AT THE CONTRACTOR'S EXPENSE.
5. IF ANY WELLS ARE LOCATED DURING CONSTRUCTION THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE ENGINEER.
6. ALL PRACTICABLE AND NECESSARY EFFORT SHALL BE TAKEN DURING CONSTRUCTION TO CONTROL AND PREVENT EROSION AND TRANSPORT OF SEDIMENT TO SURFACE DRAINS, SWALES AND OUTFALLS. (REFER TO EROSION CONTROL PLAN)
7. WHERE THE NEW PAVEMENT IS DISCONTINUED IT SHALL BE FLUSH WITH OR HAVE A SMOOTH TRANSITION WITH ADJACENT PAVEMENT.
8. ALL INVERT ELEVATIONS NOTED FOR DRAINAGE STRUCTURES ARE FLOW LINE ELEVATIONS.
9. ALL EXISTING AND PROPOSED GRADES SHOWN REFER TO N.A.V.D. 1988.
10. AT THE CONTRACTOR'S EXPENSE, ALL FRAMES, COVERS, VALVE BOXES, METER BOXES AND MANHOLES SHALL BE ADJUSTED TO FINISHED GRADE UPON COMPLETION OF PAVING OR RELATED CONSTRUCTION.
11. ANY SURPLUS MATERIAL WILL REMAIN THE PROPERTY OF THE OWNER; AND THE CONTRACTOR, AT HIS EXPENSE SHALL STOCKPILE THE SURPLUS MATERIAL AS DIRECTED BY OWNER.
12. THE LIMITS OF CONSTRUCTION SHALL MATCH THE LIMITS OF CLEARING & GRUBBING UNLESS OTHERWISE NOTED ON PLANS.
13. ALL UTILITY WORKMANSHIP AND MATERIALS FOR THIS PROJECT SHALL BE IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND STANDARDS OF THE DEPARTMENT OF ENVIRONMENTAL PROTECTION (DEP), THE STATE OF FLORIDA DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES (HRS) UNLESS OTHERWISE NOTED.
14. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE AND VERIFY THE SIZE, DEPTH AND LOCATION OF ALL UTILITIES IN THE FIELD WITHIN THE PROJECT LIMITS PRIOR TO CONSTRUCTION. ANY UTILITIES THAT ARE DISTURBED OR DAMAGED BY THE CONTRACTOR SHALL BE IMMEDIATELY REPAIRED OR REPLACED AT HIS EXPENSE. ANY DISCREPANCY NOT CALLED TO THE ENGINEER'S ATTENTION PRIOR TO THE ACCOMPLISHMENT OF THE WORK SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE. THE ENGINEER AND/OR OWNER WILL NOT GUARANTEE ANY LOCATIONS AS SHOWN ON THESE PLANS OR THOSE OMITTED FROM THE SAME.
15. ALL DISTURBED AREAS WITHIN PROJECT SITE SHALL BE REGRADED AS REQUIRED AND STABILIZED WITH SOD. VACANT LOT AREAS THAT ARE DISTURBED DURING CONSTRUCTION SHALL BE SEEDED & MULCHED.
16. CONCRETE SIDEWALK: USE CLASS I, 3000 PSI (MINIMUM) CONCRETE. APPLY A BROOM FINISH AND MAKE VERTICAL SAW CUTS AT 5' ON CENTER AT A DEPTH OF 1/4 OF THE SLAB THICKNESS. PROVIDE PRE-FORMED EXPANSION JOINTS AT 100' ON CENTER.
17. ALL HANDICAP SPACES, RAMPS, AND ACCESS AREA'S SHALL COMPLY IN STRICT ACCORDANCE WITH THE "AMERICAN DISABILITY ACT" (ADA) (28 CFR PART 36), AND "ACCESSIBILITY BY HANDICAPPED PERSONS" CHAPTER 553, PART V, FLORIDA STATUTES. ANY DISCREPANCY SHALL BE CALLED TO THE ENGINEERS ATTENTION PRIOR TO CONSTRUCTION.
18. CONCRETE CURB & GUTTER AND STRAIGHT CURB: USE CLASS I, 3000 PSI (MINIMUM) CONCRETE. MAKE VERTICAL SAW CUTS EVERY 10' ON CENTER WITH PRE-MOLDED EXPANSION JOINTS EVERY 100' ON CENTER.
19. PAVEMENT MARKINGS AND SIGNS SHALL BE IN STRICT ACCORDANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.) FOR STREETS AND HIGHWAYS" AND FDOT STANDARD INDEX #17346.
20. STORM DRAIN (SD) SHALL BE REINFORCED CONCRETE PIPE, ADS N-12, ALUMINUM, PVC SDR-35, A-2000 PVC, OR AS SHOWN ON PLANS. NO STEEL PIPE, NON REINFORCED CONCRETE PIPE, OR FIBER REINFORCED PIPE.
21. THE SIZES AND LOCATIONS OF THE UNDERGROUND PRESSURE MAINS, STORM DRAINS, GRAVITY MAINS, ELECTRIC CONDUITS, SLEEVES, TRANSFORMERS, ENCLOSURES, LIGHT POLES AND OTHER APPURTENANCES ARE BASED UPON THE BEST INFORMATION OBTAINED BY THE ENGINEER AT THE TIME OF DESIGN. THE CONTRACTOR SHALL VERIFY ACTUAL LOCATION, SIZE AND DEPTH OF ALL UTILITIES DESCRIBED ABOVE PRIOR TO INSTALLATION OF THEIR FACILITIES.

DEMOLITION NOTES:

1. **ALL ELEVATIONS, PROPOSED AND EXISTING, REFERENCE THE NORTH AMERICAN VERTICAL DATUM (N.A.V.D.) 1988.**
2. CONTRACTOR SHALL LOCATE AND VERIFY THE SIZE, LOCATION, AND DEPTH OF ALL EXISTING UTILITIES IN THE FIELD AND SHALL NOTIFY THE UTILITY COMPANIES IN THE AREA BEFORE BEGINNING CONSTRUCTION. ANY UTILITIES THAT ARE DISTURBED OR DAMAGED BY THE CONTRACTOR SHALL BE IMMEDIATELY REPAIRED OR REPLACED BY THE CONTRACTOR AT HIS EXPENSE. ANY DISCREPANCY NOT CALLED TO THE ENGINEER'S ATTENTION PRIOR TO ACCOMPLISHMENT OF THE WORK SHALL BE CORRECTED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND DEMOLITION OF ANY EXISTING STRUCTURES WITHIN THE PROJECT LIMITS. ALL DEBRIS GENERATED SHALL BE REMOVED FROM THE SITE AND HAULED TO A COUNTY APPROVED OFF-SITE DUMP. THE CONTRACTOR SHALL ACQUIRE ALL NECESSARY PERMITS FOR THESE OPERATIONS.
4. RELOCATION OR REMOVAL OF EXISTING LANDSCAPE MATERIAL SHALL BE COORDINATED WITH THE OWNER AND/OR LANDSCAPE ARCHITECT.
5. THE CONTRACTOR, AT HIS OWN EXPENSE AND IN CONFORMANCE WITH ANY APPLICABLE GOVERNMENTAL REGULATION, SHALL DURING THE COURSE OF AND AFTER COMPLETION OF CONSTRUCTION, REMOVE FROM THE JOB SITE AND DISPOSE OF, IN AN AUTHORIZED GARBAGE OR RUBBISH DISPOSAL SITE, ALL RUBBISH, SCRAP, AND DEBRIS ACCUMULATED IN CONNECTION WITH HIS WORK AND SHALL DELIVER THE WORK IN A NEAT AND WORKMANLIKE MANNER.
6. DURING USE OF STREETS AND HIGHWAYS FOR WORK TO BE DONE UNDER THIS CONTRACT, DETERMINE AND CONFORM TO ALL STATE, COUNTY, AND LOCAL LAWS AND REGULATIONS. THE CONTRACTOR SHALL PROVIDE, ERECT, AND MAINTAIN EFFECTIVE BARRICADES, WARNING SIGNALS AND SIGNS ON ALL AFFECTED STREETS OR HIGHWAYS FOR PROTECTION OF COMPLETED WORK AND TO ENSURE THE SAFETY OF THE PUBLIC. ALL BARRICADES OR OBSTRUCTIONS WHICH ENCROACH ON, OR ARE ADJACENT TO, PUBLIC RIGHTS-OF-WAYS SHALL BE PROVIDED WITH LIGHTS WHICH SHALL BE KEPT ILLUMINATED AT ALL TIMES BETWEEN SUNSET AND SUNRISE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE RESULTING FROM ANY NEGLIGENCE OR FAILURE TO MEET THESE REQUIREMENTS.
7. THE CONTRACTOR SHALL ARRANGE WORK TO MINIMIZE AMOUNT OF DISTURBANCE TO NORMAL PEDESTRIAN AND VEHICULAR TRAFFIC AND PROVIDE ADEQUATE MEANS OF ACCESS TO ALL PUBLIC AND PRIVATE PROPERTIES DURING CONSTRUCTION. IF CONSTRUCTION WORK SHOULD REQUIRE REPAIRS, CHANGES, OR MODIFICATIONS OF OTHER UTILITIES, THE CONTRACTOR SHALL PROVIDE FOR MAINTENANCE OF CONTINUOUS WATER, ELEC., TELEPHONE, GAS, SEWAGE, AND OTHER UTILITY SERVICES TO ALL CONNECTED CUSTOMERS OF SUCH UTILITIES UNLESS APPROVAL IN WRITING IS OBTAINED FROM UTILITY COMPANY OR OWNER FOR INTERRUPTION OF SUCH SERVICES.
8. CONTRACTOR SHALL CLEAN OR REPAIR ANY EXISTING INLETS & S.D. PIPES. WITHIN SITE THAT WHERE DAMAGED OR DISTURBED DURING CONSTRUCTION.
9. EXISTING AREA LIGHTING REMOVAL AND/OR RELOCATION SHALL BE COORDINATED W/ OWNER AND APPROVED SITE LIGHTING PLAN. UNDERGROUND ELECTRIC AND TRANSFORMER RELOCATION SHALL BE COORDINATED W/OWNER AND UTILITY COMPANY.
10. SURROUNDING FACILITIES SHALL STAY OPERATIONAL AT ALL TIMES OF CONSTRUCTION.

LEGEND

- MANHOLE I.D.
- PROPOSED FORCE MAIN
- PROPOSED FIRE HYDRANT ASSEMBLY W/PIPE BOLLARDS (TYP)
- PROPOSED WATER MAIN W/ METER AND RPBFP
- PROPOSED SANITARY SEWER MAIN W/MANHOLE
- PROPOSED 6" SEWER LATERAL W/CLEAN-OUT
- TRANSFORMER PAD (BY OTHERS)
- EXISTING ASPHALT PAVEMENT
- PROPOSED CONCRETE SURFACE
- PROPOSED ASPHALT PAVEMENT
- PROPOSED BUILDING/STRUCTURE
- LIGHT POLE (BY OTHERS)
- EXIST. STORM DRAIN & INLET
- INLET STRUCTURE I.D.
- PROP. STORM DRAIN & INLET
- PROP. MITERED END SECTION
- EXISTING ELEVATION
- PROPOSED ELEVATION
- DRAINAGE FLOW ARROW
- BERM/DETENTION AREAS
- ROCK BOULDER RIP-RAP OVER FILTER FABRIC
- DRY DETENTION/RETENTION

NOTES:

ALL **EXISTING & PROPOSED** GRADE ELEVATIONS SHOWN ON THESE PLANS REFER TO **N.A.V.D. '88**.

THESE PLANS MAY HAVE BEEN REDUCED OR INCREASED IN SIZE BY REPRODUCTION(S). THIS MUST BE CONSIDERED WHEN OBTAINING SCALED DATA.

CALL 48 HOURS BEFORE YOU DIG



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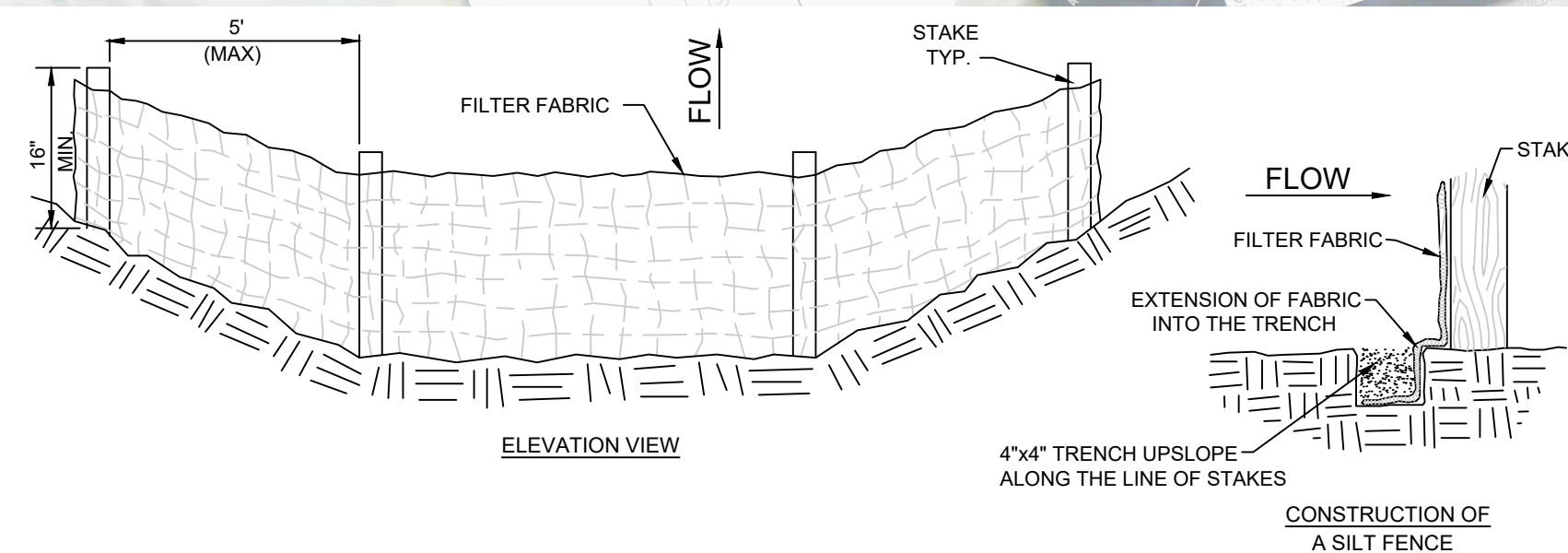
Know what's below. Call before you dig.

SUNSHINE STATE ONE CALL OF FLORIDA, INC.



PROJECT: 19-110	
DATE: 05/19	
ENGINEER: ANDRES BORAL, P.E., MBA	LICENSE # 80373 FPRE # 31522
9911 CONSCREW RD, STE 222, ESTERO, FL 33929	WWW.BORALENGINEERING.COM
(P) 239-492-0069	
BORAL ENGINEERING & DESIGN	
OWNER: WINDWARD OF MARCO ISLAND, LLC 930 HYACINTH COURT MARCO ISLAND, FL 34145	
REVISION DESCRIPTION	
BY	
DATE	
WINDWARD DRIVE WAREHOUSES 921 WINDWARD DRIVE MARCO ISLAND, FL 34145	
GENERAL NOTES	
SHEET 2 OF 11	

1. THE CONTRACTOR SHALL ADHERE TO THE SEQUENCE OF OPERATIONS FOR EROSION CONTROL IMPLEMENTATION HERON. ANY DEVIATION FROM THIS SEQUENCE DEEMED NECESSARY BY THE CONTRACTOR SHALL BE APPROVED BY THE OWNER.
2. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS INVOLVED WITH THE CONSTRUCTION ACTIVITIES RELATED TO EROSION CONTROL AS SHOWN OR NOTED HERON SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP), AS WELL AS THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT FOR THIS SITE, AND BECOME FAMILIAR WITH THEIR CONTENTS.
3. ALL WASH WATER SHALL BE DISPOSED OF IN A MANNER THAT PREVENTS CONTACT BETWEEN WASH WATER POLLUTANTS AND STORM RUNOFF DISCHARGED FROM THIS SITE.
4. OIL AND GREASE ABSORBING MATERIALS SHALL BE READILY AVAILABLE ON-SITE AND SHALL BE PROMPTLY USED TO CONTAIN AND/OR CLEAN UP ALL FUEL OR CHEMICAL SPILLS OR LEAKS.
5. DUST CONTROL SHALL BE ACCOMPLISHED BY WATERING DRY, EXPOSED AREAS ON A REGULAR BASIS. SPRAYING OF PETROLEUM BASED OR TOXIC LIQUIDS FOR THIS IS PROHIBITED.
6. ALL RIGHT-OF-WAYS THAT ARE DISTURBED DURING CONSTRUCTION SHALL BE PERMANENTLY SODDED PRIOR TO THE COMPLETION OF THE PROJECT.
7. DISTURBED AREAS OF THE SITE WHERE CONSTRUCTION AREAS HAVE PERMANENTLY CEASED SHALL BE PERMANENTLY SEEDS OR SODDED, AS SHOWN ON THE ATTACHED PLAN, WITHIN FOURTEEN DAYS.
8. ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED ONTO ADJACENT ROADWAYS BY VEHICLES EXITING THE SITE SHALL BE CLEANED OR REMOVED IMMEDIATELY.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROMPT REMOVAL OF ALL ACCUMULATED SILT IN THE STORM SEWER SYSTEM AND ALONG SILT FENCES.
10. SILT FENCES SHALL BE PLACED AROUND ANY STOCKPILES USED ON THIS SITE.
11. ANY ADDITIONAL EROSION CONTROL MEASURES REQUIRED TO ENSURE COMPLIANCE WITH THE U.S.E.P.A. AND FLORIDA DEP STORM WATER POLLUTION REGULATIONS SHALL BE IMPLEMENTED BY THE CONTRACTOR, AT NO ADDITIONAL COST TO THE OWNER.
12. ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED AND PROPERLY DISPOSED OF OFF-SITE WITHIN THIRTY DAYS AFTER STABILIZATION OF ALL SURFACES.
13. THE CONTRACTOR SHALL ASSUME LIABILITY FOR DAMAGE TO ADJACENT PROPERTIES AND/OR PUBLIC RIGHT-OF-WAY RESULTING FROM FAILURE TO FULLY IMPLEMENT AND EXECUTE ALL EROSION CONTROL PROCEDURES SHOWN AND NOTED IN THE PLANS.
14. WHENEVER DIRT, ROCK OR OTHER MATERIALS ARE EXPORTED FOR USE OFF OF THE PRIMARY CONSTRUCTION SITE, THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THAT EPA STORMWATER PERMITTING REQUIREMENTS ARE MET PRIOR TO ANY EXPORT OF MATERIALS. THE CONTRACTOR SHALL FURNISH THE ENGINEER WITH A WRITTEN AGREEMENT WITH ANY LANDOWNER WHO WILL RECEIVE EXPORTED MATERIALS, STATING THAT THE SITE WILL BE PROPERLY PERMITTED WHEN REQUIRED AND DESCRIBE THE EROSION CONTROL MEASURES WHICH WILL BE USED. AT A MINIMUM, EROSION CONTROL MEASURES MUST CONSIST OF PERIMETER CONTROLS (SYNTHETIC HAY OR SILT FENCES) ON ALL DOWNSLOPE AND SIDESLOPE BOUNDARIES OF ANY DISTURBED AREAS, PLUS PROVISIONS FOR RE-VEGETATION AFTER THE FILL MATERIALS ARE IN PLACE.



N.T.S.



15. PRIOR TO CONSTRUCTION, FILTER FABRIC, SILT SCREENS, STRAW BALES OR OTHER APPROVED EROSION CONTROL DEVICES SHALL BE INSTALLED ACROSS THE SWALE AT THE LOWEST DISTURBED POINT TO PREVENT EROSION MATERIAL FROM LEAVING THE CONSTRUCTION AREA, INCLUDING ANY VACANT AREAS USED FOR INGRESS AND EGRESS.
16. ALL AFFECTED STORMWATER PIPES, INLETS AND CATCH BASINS SHALL BE PROTECTED BY EROSION CONTROL DEVICES TO PREVENT CONSTRUCTION RELATED EROSION MATERIAL FROM ENTERING THE STORMWATER SYSTEM.
17. THE EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION PROCESS AND SHALL REMAIN IN PLACE UNTIL STABILIZED WITH SOD AND THE VACANT AREAS ARE SEEDED AND MULCHED.
18. ALL DEWATERING SHALL BEGIN ACCORDANCE WITH S.F.W.M.D. SHORT TERM DEWATERING CRITERIA.
19. ANY MONITORING WELLS NOT PREVIOUSLY PLUGGED ARE TO BE ABANDONED PER 62-532.500(4) REQUIREMENTS AND S.F.W.M.D. RULE 40E-3.532(3) BY A WATER WELL CERTIFIED CONTRACTOR.
20. CONTRACTOR SHALL COORDINATE WITH ENVIRONMENTAL CONSULTANT TO ABANDON OR RELOCATE EXISTING MONITORING WELLS AND OTHER SIMILAR ENVIRONMENTAL FACILITIES; AND FOR PROTECTION OF SUCH FACILITIES TO BE RETAINED ON THE SUBJECT PROPERTY.
21. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC R/W. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
8. ALL VEHICLES SHALL BE CLEANED AT THE CONSTRUCTION SITE PRIOR TO EXITING. ALSO, WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC R/W.
9. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

1. ALL ASPHALT, CONCRETE SIDEWALK, CURBING, AND ONE STORY STRUCTURE WITHIN THE PROPERTY BOUNDARY ARE TO BE DEMOLISHED.
2. ALL UTILITY POLES OFF SITE ARE TO REMAIN, NOTIFY ENGINEER OF ANY CONFLICTS.
3. EXISTING POTABLE WATER METER AND RPBFP ARE TO BE REMOVED & RELOCATED, SEE UTILITY PLAN FOR DETAILS.
4. CONTRACTOR TO VERIFY ONSITE UTILITY SERVICES ARE EXCLUSIVE TO THE PROJECT SITE AND NOT IN CONJUNCTION WITH SERVICING THE ADJACENT STORE TO THE NORTH.
5. ANY UTILITIES SERVICING THIS SITE MAY ALSO BE SERVICING THE ADJACENT STORE THROUGH THIS SITE. CONTRACTOR TO NOTIFY THE UTILITY OF ANY INSTANCES PRIOR TO CONSTRUCTION.

1400 COMMERCIAL & SERVICES

35 URBAN LAND-AQUENTS
COMPLEX, ORGANIC
SUBSTRATUM

ALL EXISTING & PROPOSED GRADE ELEVATIONS
SHOWN ON THESE PLANS REFER TO N.A.V.D. '88.

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**CALL 48 HOURS
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811

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Know what's below.
Call before you dig.

SUNSHINE STATE ONE CALL OF FLORIDA, INC.



SHEET 3 OF 11	EXISTING CONDITIONS &	WINDWARD DRIVE WAREHOUSES 921 WINDWARD DRIVE MARCO ISLAND, FL 34145	DATE 08/2019	BY J.B	REVISION DESCRIPTION REVISED PER CITY OF MARCO ISLAND RA# 1	OWNER: WINDWARD OF MARCO ISLAND, LLC 930 HYACINTH COURT MARCO ISLAND, FL 34145		PROJECT: 19-110 DATE: 05/19	ENGINEER: ANDRES BORAL, PE, MBA LICENSE # 80373 FBE# F31552 9811 CORKSCREW RD, STE 222, ESTERO, FL 33928 WWW.BORALENGINEERING.COM (P) 239-592-0509
	EROSION CONTROL PLAN								

SITE ADDRESS & LEGAL:

SITE ADDRESS: 921 WINDWARD DRIVE
MARCO ISLAND, FL 34145

LEGAL DESCRIPTION: LOT 12, BLOCK 777, A REPLAT OF A
PORTION OF MARCO BEACH UNIT FOUR, A
SUBDIVISION ACCORDING TO THE PLAT
THEREOF AS RECORDED IN PLAT BOOK 12,
PAGES 19 TO 21, OF THE PUBLIC RECORDS
OF COLLIER COUNTY, FLORIDA.

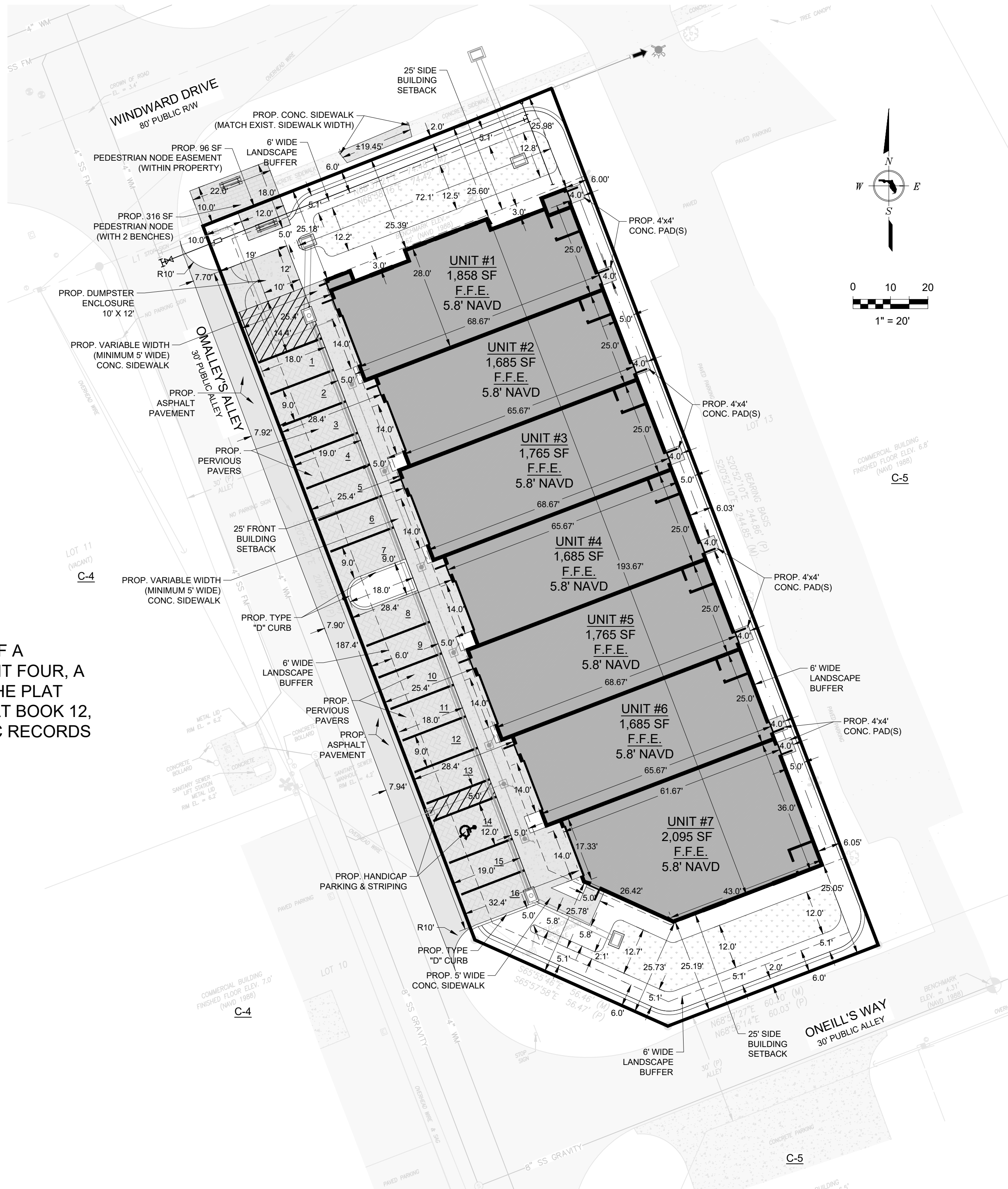
(PREPARED BY:
DAVID S. DAGOSTINO, PSM;
DAGOSTINO & WOOD, INC.)

PARKING REQUIREMENTS

WAREHOUSING: 1 SPACE PER 1,000 SF (120% MAX)
MAX 120% OF THE MINIMUM REQ'D PARKING ALLOWED

REQUIRED PARKING = 12,538 SF / 1,000 SF = 13 SPACES
13 SPACES * 120% MAX = 16 SPACES

PARKING PROPOSED = 16 SPACES (INCLUDES 1 H/C SPACE)



BUILDING SETBACKS

<u>REQ'D</u>	<u>PROV'D</u>
25'	25.18'
25'	25.05'
25'	25.40'
0-10'	6.00'

LANDSCAPE BUFFERS

<u>REQ'D</u>	<u>PROV'D</u>
6'	6'
6'	6'
6'	6'
5-10'	6'

NOTES:

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**CALL 48 HOURS
BEFORE YOU DIG**



**IT'S THE LAW!
DIAL 811**

Know what's below.
Call before you dig.

SUNSHINE STATE ONE CALL OF FLORIDA, INC.

PROJECT:	19-110
DATE:	05/19
ENGINEER:	ANDRES BORAL, PE, MBA
LICENSE #	80373 FPRE # 31552
9911 CONSCREW RD, STE 222 ESTERO, FL 33929	
WWW.BORALENGINEERING.COM	
(P) 239-692-0909	



OWNER:	WINDWARD OF MARCO ISLAND, LLC
930 HYACINTH COURT	
MARCO ISLAND, FL 34145	

REVISION DESCRIPTION	BY	DATE
REVISED PER CITY OF MARCO ISLAND RAI #1	JB	08/20/19

WINDWARD DRIVE WAREHOUSES	
921 WINDWARD DRIVE	
MARCO ISLAND, FL 34145	

SITE DIMENSION	
PLAN	

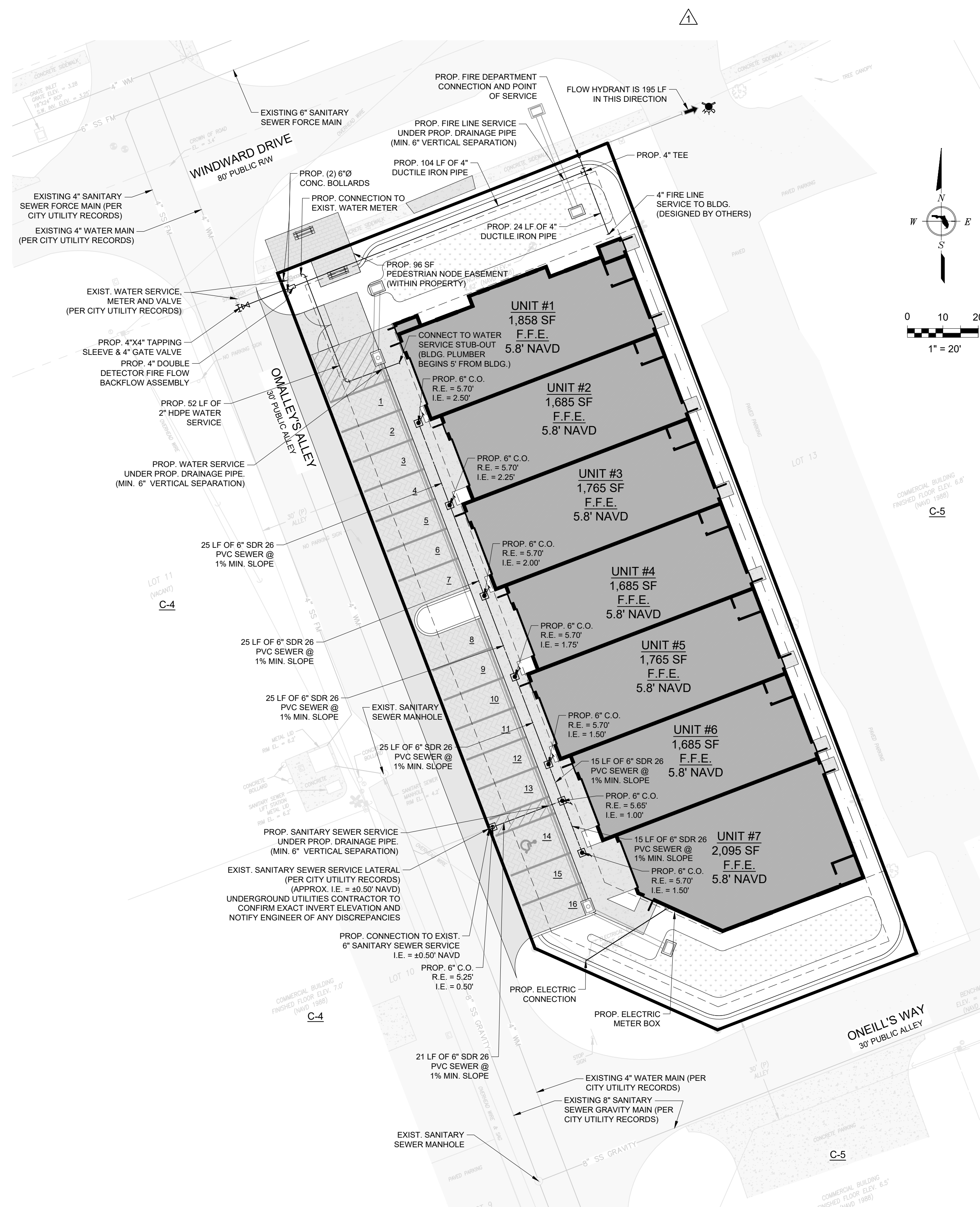
City of Marco Island

DEPARTMENT OF FIRE PREVENTION

Company/Firm Requesting Test: Florida Build Right, Inc.
Contact Person: Jim Mayer
Date Tested: 3/26/2019 Number of Hydrants Tested: 2
Person performing test:
Inspector Allen Inspector Harris
Amount Due and Payable To The Marco Island Fire Department
\$ 113.00
* Note: Charges for flow testing will be \$77.00 for the first hydrant and \$36.00 for each hydrant tested at the same time and date as the first hydrant.

Hydrant # 1	Hydrant # 2	Hydrant # 3
Date <u>3/26/2019</u>		
Location <u>See Attached Map for Exact Location</u>		
Time of Test <u>10:30 AM</u>		
Flow - PSI <u>62</u>		
Static <u>80</u>		
Residual <u>78</u>		
GPM <u>1300</u>		

1280 San Marco Road, Marco Island, Florida 34145
(239) 389-5040 Fax (239) 393-0099



PER F.A.C. CHAPTER 64E-6.008

(WAREHOUSE) PER LOADING BAY = 100 GPD
 NUMBER OF LOADING BAY'S PER UNIT = 1 EACH
 TOTAL NUMBER OF LOADING BAY'S = 7 UNITS = 7 LOADING BAYS
 7 BAY'S x 100 GPD = 700 GPD

BASED ON NFPA 1 - FIRE CODE - LATEST EDITION, CHAPTER 18, TABLE 18.4.5.1.2 "MINIMUM REQUIRED FIRE FLOW AND FLOW DURATION FOR BUILDINGS" FOR THE PROPOSED 12,538 SF BUILDING, A MINIMUM OF 3,000 GPM IS REQUIRED FOR ANY BUILDING WITH A "V" RATED CONSTRUCTION TYPE (PER NFPA 220).

FF REQUIRED = 3,000 GPM @ 20 PSI
FF AVAILABLE = SEE FIRE FLOW TEST

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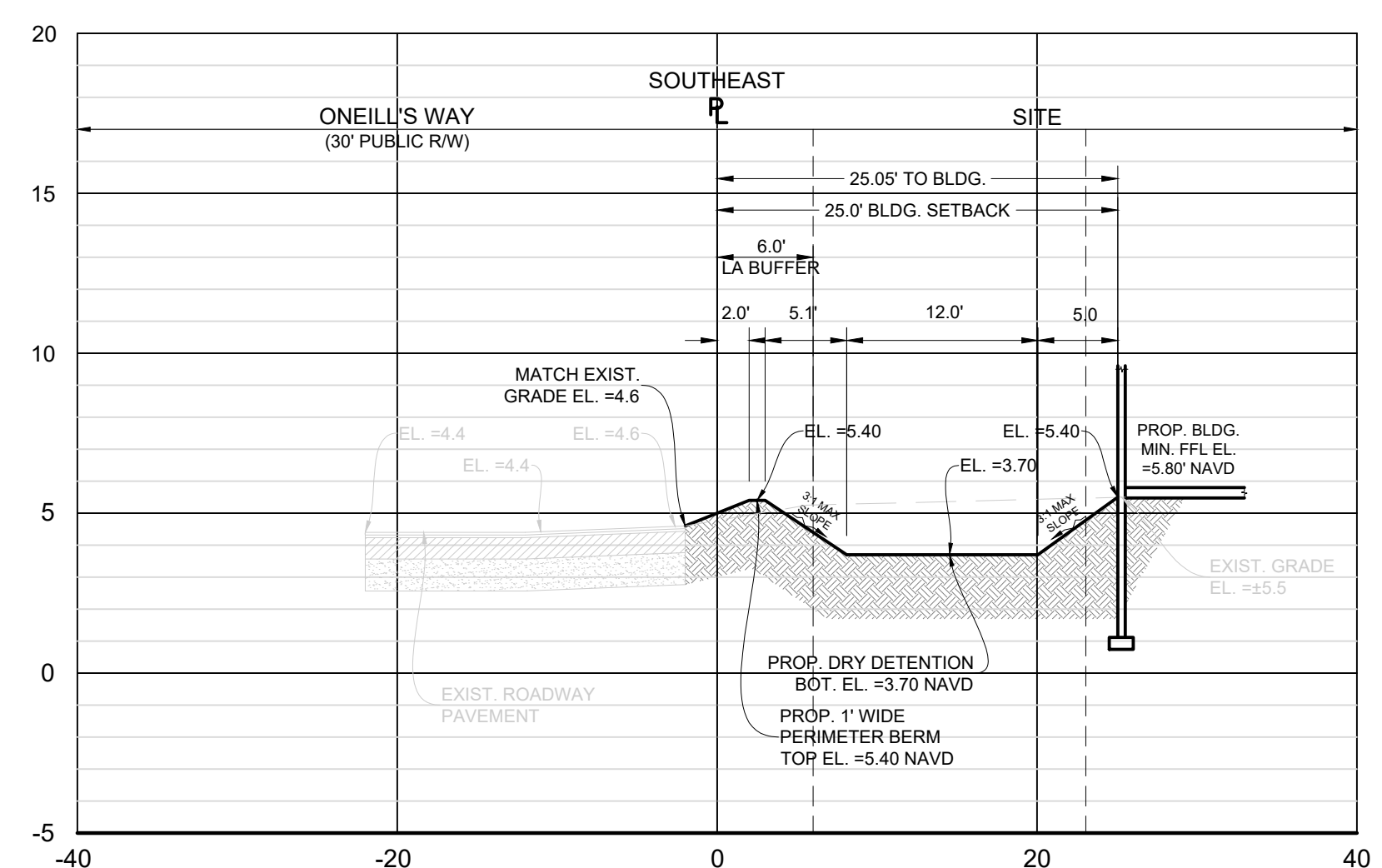
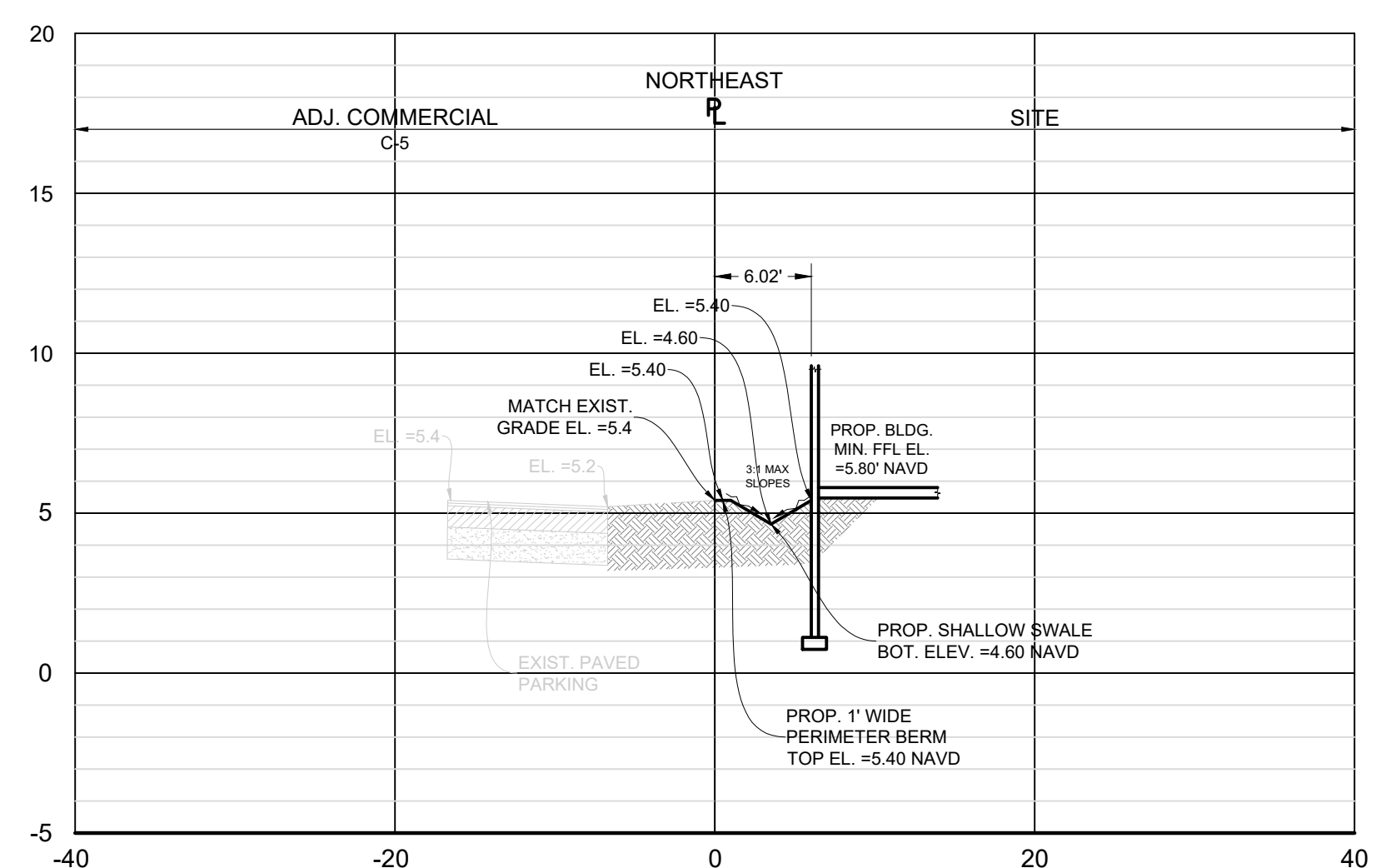
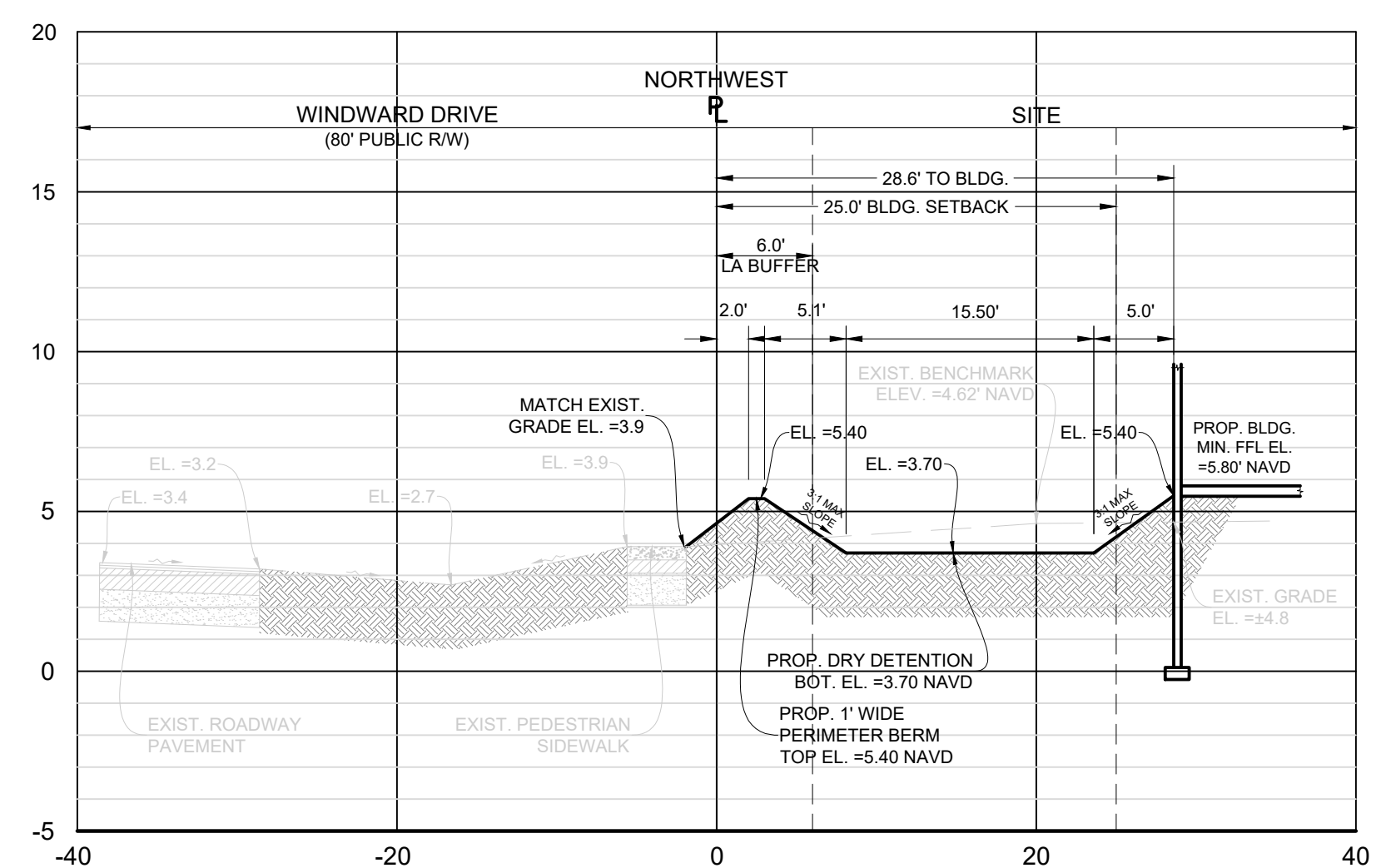
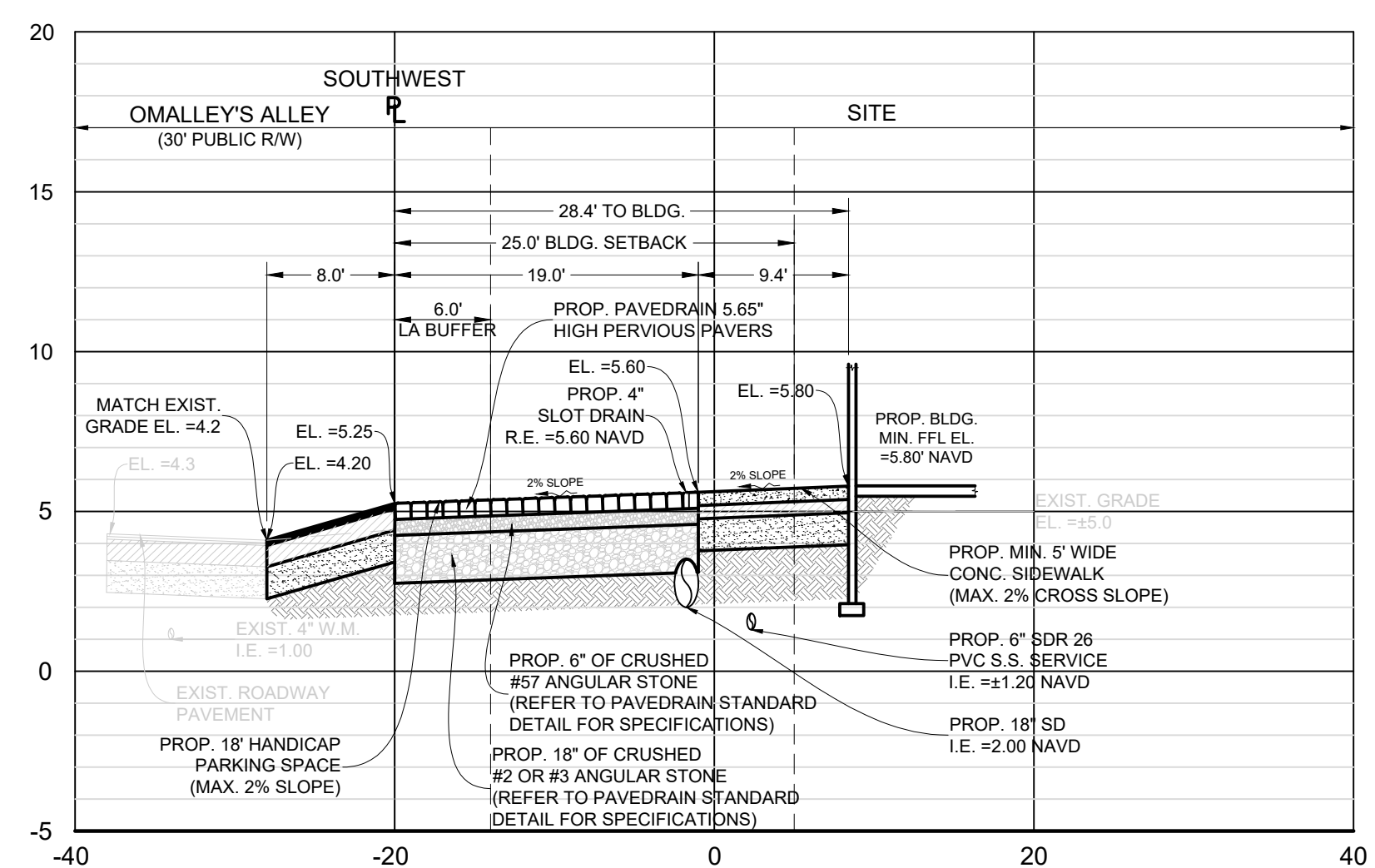
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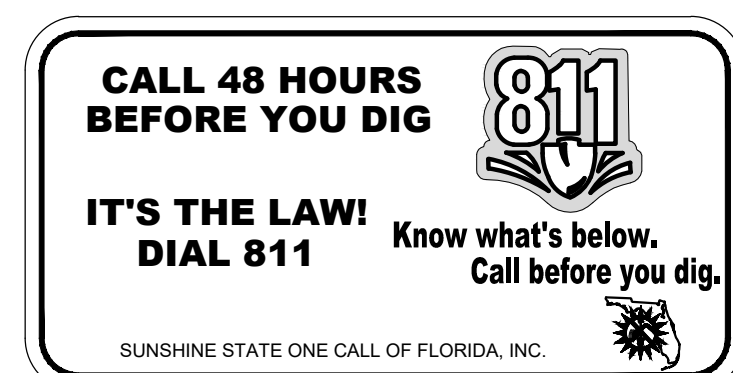




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1. THE CONTRACTOR SHALL SOD ALL DISTURBED AREA. ALL PLANTING SHALL BE MULCHED TO A 3" MINIMUM DEPTH.
2. ACCEPTABLE ROOT BARRIER (BIO BARRIER) MATERIAL TO BE INSTALLED WHEN A CANOPY TREE IS PLANTED WITHIN 7 FEET FROM ANY ROADWAY, SIDEWALK OR PUBLIC UTILITY.
3. VERIFY THE LOCATIONS OF EXISTING TREES, LAWNS, AND SHRUBS. REMOVE EXTRANEOUS MATERIALS SUCH AS ROCKS, BRANCHES, BUILDING MATERIALS OR UNACCEPTABLE SOILS PRIOR TO PLANTING SOD, TREES, AND SHRUBS.
4. CONTRACTOR SHALL BECOME ACQUAINTED WITH THE RELATED PAVING, SITE GRADING, AND ALL UTILITIES TO PRECLUDE ANY MISUNDERSTANDINGS AND ENSURE A TROUBLE FREE INSTALLATION.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEAN UP OF PREMISES AND REMOVAL OF ALL DISCARDED AND SURPLUS MATERIALS, AND RUBBISH.
6. THE EXACT LOCATION OF ALL EXISTING STRUCTURES, UNDERGROUND UTILITIES, AND PIPES MAY NOT BE AS INDICATED ON DRAWINGS; THE CONTRACTOR SHALL DETERMINE THE LOCATION OF THESE ITEMS AND SHALL CONDUCT HIS WORK IN A MANNER TO PREVENT INTERRUPTION OR DAMAGE TO EXISTING SYSTEMS WHICH MUST REMAIN OPERATIONAL. THE CONTRACTOR SHALL PROTECT EXISTING STRUCTURES AND UTILITY SERVICE WHICH MUST REMAIN OPERATIONAL AND SHALL BE RESPONSIBLE FOR THEIR REPLACEMENT IF DAMAGED.
7. AREAS NOT LANDSCAPED WILL BE SODDED.
8. REFER TO DEMOLITION PLAN (SHEET 3 OF 11) FOR ANY TREES TO BE REMOVED.
9. ALL PLANTS, TREES & SHRUBS SHALL BE FLORIDA NO.1 OR BETTER AS DESCRIBED IN "GRADES AND STANDARDS FOR NURSERY PLANTS" 1975, FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.
10. THERE SHALL BE 3' MINIMUM CLEARANCE FROM LANDSCAPE PLANTS TO THE EDGE OF THE METERS.
11. TO AVOID CONFLICTS WITH OVERHEAD UTILITY LINES, ONLY TREES LESS THAN 20 FEET IN HEIGHT AT MATURITY MAY BE USED DIRECTLY ADJACENT TO AN OVERHEAD LINE.

1. THE LANDSCAPE AREAS OF THE ENTIRE PROJECT SHALL BE IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM WITH A CONTROLLER SET TO CONSERVE WATER.
2. A MOISTURE DETECTION DEVICE SHALL BE INSTALLED TO OVERRIDE THE SPRINKLER ACTIVATION MECHANISM DURING PERIODS OF INCREASED RAINFALL.
3. THE RAIN SENSOR SHALL BE POSITIONED SO THAT IT WILL RECEIVE DIRECT RAINFALL AND NOT BE IMPEDED BY ANY OTHER OBJECTS.
4. ALL REQUIRED IRRIGATION SYSTEMS SHALL BE LAID OUT SO THAT WATER IS NOT APPLIED TO IMPERVIOUS SURFACES, INCLUDING ROADS, DRIVEWAYS AND OTHER IMPERVIOUS SURFACES.
5. REQUIRED IRRIGATION SHALL NOT IMPACT EXISTING NATIVE VEGETATION THAT WILL BE RETAINED ON THE DEVELOPMENT SITE.
6. "RAINBIRD" IRRIGATION SUPPLIES OR EQUAL SHALL BE UTILIZED.
7. ALL LANDSCAPE AREAS, INCLUDING PARKING ISLANDS WILL BE ADEQUATELY SLEEVED FOR IRRIGATION.



VIENTO LED WALL PACK VNTW 3500 - 11000L



FEATURES

- Uniform light distribution, ideal for building facades, entry ways, sidewalks and general security or accent lighting.
- LED provides a significant energy savings over HED.
- Operating temperature: -40°C to +40°C (-40°F to +104°F)
- Custom colors are available (consult factory).
- Designed for ease of installation.

OPTICS

- Optical grade polymer is UV stabilized and impact resistant.
- IP66 rated LED light engines prevent dust and moisture from degrading performance.
- Distributions: Type II Short, Type II Medium, Type II Medium and Type IV Short.
- Best in class Lumileds LEDs with 3000K (min 80 CRI), 4000K, and 5000K CCT (min 70 CRI).
- Lumen Maintenance: 100,000hrs L70 @ 25°C.
- Precision molded optics for superior uniformity, minimal light trespass and maximum spacing.
- Zero uplight (30°) is night sky friendly, reduces wasted light.

WARRANTY

- Backed by XtraLight's industry leading 10 year warranty.

PROJECT INFORMATION

Project Name	Type
Catalog #	Date

APPLICATIONS

- Building Facades
- Entry Ways
- Sidewalks
- Security Lighting
- Accent Lighting
- General Exterior Lighting

APPROVALS

- ETL Listed, Complies with UL1598 and CSA 22.2
- Suitable for Wet Locations.
- Select models DLC Qualified. For a complete list of DLC Qualified products, please visit <https://www.xtralight.com/dlc> or www.designlights.org/qpl

PRODUCT PERFORMANCE

MODEL	COOLING	WATT	WATTAGE	EFFICIENCY
3500L	4000K	27.6	3798	137.7
5000L	4000K	55.26	6490	117.4
8000L	4000K	79.0	9965	163.1
11000L	4000K	92.72	10071	108.6

CONSTRUCTION

- Housing: Two-piece die-cast aluminum has integral heat sink fins to optimize thermal management through conductive and convective cooling.
- Housing and back box are protected with a thermcoat TGIC-polyester powder coat finish.
- The LED driver is mounted in direct contact with the casting to provide low operating temperature and long life.
- Silicone gasket is included to prevent leakage and provide weather-tight protection.
- All fasteners are stainless steel.

ELECTRICAL

- Voltage: 120-277V, 50/60Hz driver (standard), 347-480V, 50/60Hz driver (optional).
- Class 2 electronic drivers are designed to have a power factor >90%, THD <20%, and an expected life of 100,000 hours with <1% failure rate.
- Dimming: 0-10V dimmable driver standard.
- Passive Infrared (PIR) Photo/Motion Sensor optional.
- Emergency battery backup option (EM) is available for some models; CEM suited for cold weather, has external test button and LED indicator light to notify when the heater is on.
- 20kA surge protection standard.

ORDER LOGIC

SAMPLE CATALOG NUMBER: VNTW-8000L-40K-DIM-2M-BZ

MODEL	COOLING	WATT	WATTAGE	EFFICIENCY	FINISH	DRIVER	OPTICS	WET	WET	EM	CONTROL & OPTIONS
3500L	4000K	27.6	3798	137.7	White	Dim	2M Type II Short	W1	White	EM	Emergency battery Back-up
5000L	4000K	55.26	6490	117.4	White	Dim	2M Type II Medium	W1	White	EM	Emergency battery Back-up
8000L	4000K	79.0	9965	163.1	White	Dim	2M Type II Medium	W1	White	EM	Emergency battery Back-up
11000L	4000K	92.72	10071	108.6	White	Dim	2M Type II Medium	W1	White	EM	Emergency battery Back-up

1. ETL listed, suitable with 1000L, maximum operating temperature with EM for 3500L, 140°C (284°F), 5500L, 125°C (257°F), 8000L, 120°C (248°F).

2. Minimum temperature for EM (20°C/68°F).

3. Minimum temperature for CEM (20°C/68°F).

VNTW-3500L-11000L www.xtralight.com • (800) 678-6960 • customerservice@xtralight.com

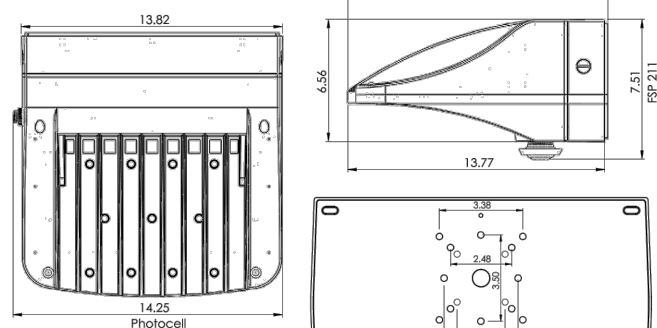
199801 All information is believed to be accurate at the time of publication. Please contact customer service or visit www.xtralight.com for the most updated product specifications. "XtraLight" reserves the right to change specifications without notice.

VIENTO LED WALL PACK VNTW 3500 - 11000L

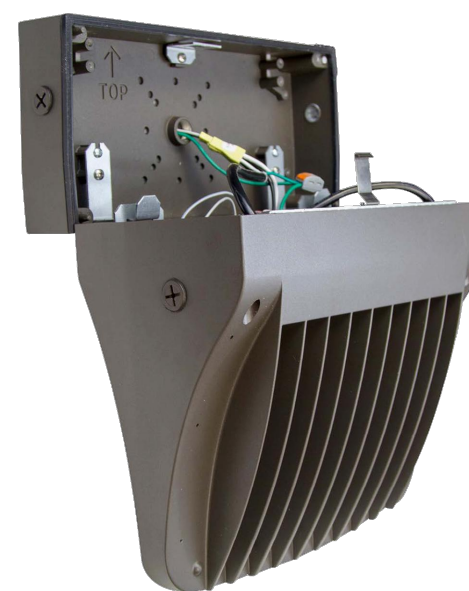
DIMENSIONAL DATA

Weights By Model

- 3500L - 17.3 lbs. (20.1 lbs. with EM)
- 5000L - 17.3 lbs.
- 8000L - 18.0 lbs.
- 11000L - 18.0 lbs.



MOUNTING



SMART ENGINEERING DESIGN EASY TO INSTALL CONTEMPORARY APPEARANCE

- Make necessary holes in Back Plate gasket included with the luminaire.
- Peel adhesive and adhere gasket to back of Back Plate.
- Mount luminaire Back Plate to wall as needed using surface mounted conduit or existing junction box.
- Hang luminaire housing back on hinges.
- Connect supply wires to quick disconnect provided.
- Swing luminaire up and close up.
- Replace housing screws and power on.

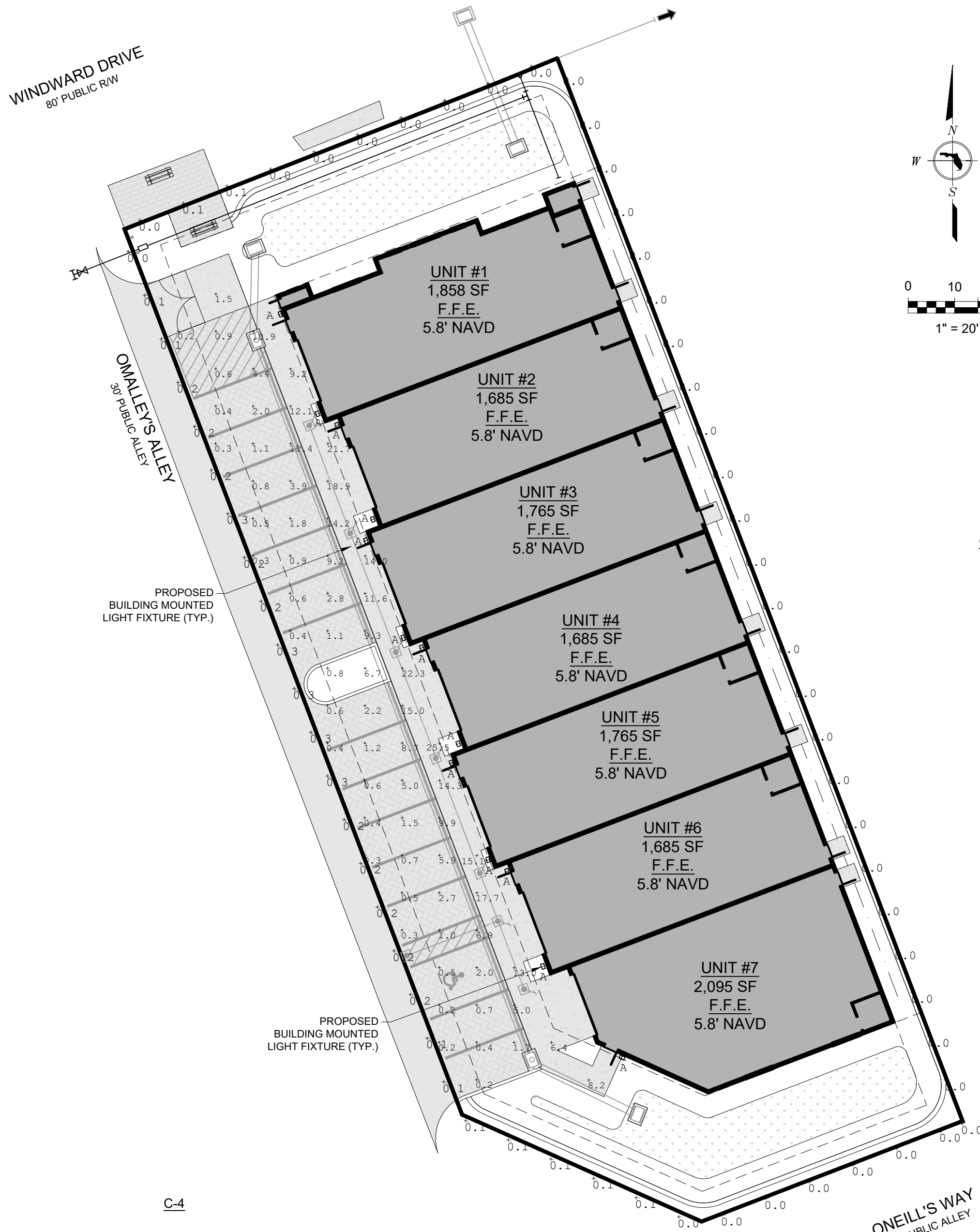
For more detailed installation instructions, please visit www.xtralight.com and download the PDF from our VNTW product page.



WORKING HARDER. LIGHTING SMARTER.™

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Luminaire Schedule

Symbol	Qty	Label	Arrangement	LLF	Description	Lum. Lumens	Lum. Watts
	13	VNTW-3500L-50K-DIM-3M-BZ	SINGLE	0.900	VNTW-3500L-50K-DIM-3M-BZ	3452	27.9

Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Parking	Illuminance	Fc	5.47	25.5	0.2	27.35	127.50
PL	Illuminance	Fc	0.07	0.3	0.0	N.A.	N.A.

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