

Centerline
Palm Street (PL)
Indian Hill Street (Field)

MAP OF BOUNDARY SURVEY

DESCRIPTION: AS FURNISHED BY CLIENT
LOT 23, BLOCK 403
MARCO BEACH
UNIT THIRTEEN

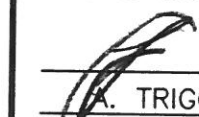
AS RECORDED IN PLAT BOOK 6 PAGE 92 THRU 99
OF THE PUBLIC RECORDS OF Collier COUNTY, FLORIDA
THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT
RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE
PUBLIC RECORDS OF THIS COUNTY.

I HEREBY CERTIFY TO:
ROSS TACKETT CUSTOM HOMES

THAT A SURVEY OF THE HEREON DESCRIBED PROPERTY WAS MADE
UNDER MY DIRECTION AND MEETS THE MINIMUM TECHNICAL STANDARDS
AS PER CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE.

5J-17.051(3)(b)4 - NOT VALID WITHOUT THE SIGNATURE AND THE
ORIGINAL RAISED SEAL OF THE FLORIDA LICENSED SURVEYOR
AND MAPPER.

5J-17.051(3)(b)6 - ADDITION OR DELETIONS TO SURVEY MAPS OR
REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES, IS
PROHIBITED WITHOUT WRITTEN CONSENT OF THE PARTY OR PARTIES

 P.L.S. DATE 5/22/18
A. TRIGO FL. P.S. & M. No. L.S. 2982

THIS CERTIFICATION IS ONLY FOR THE LANDS AS DESCRIBED
ABOVE. IT IS NOT A CERTIFICATION OF TITLE, ZONING OR
FREEDOM OF ENCUMBRANCES. ABSTRACT NOT REVIEWED.
UNDERGROUND IMPROVEMENTS NOT LOCATED UNLESS NOTED.

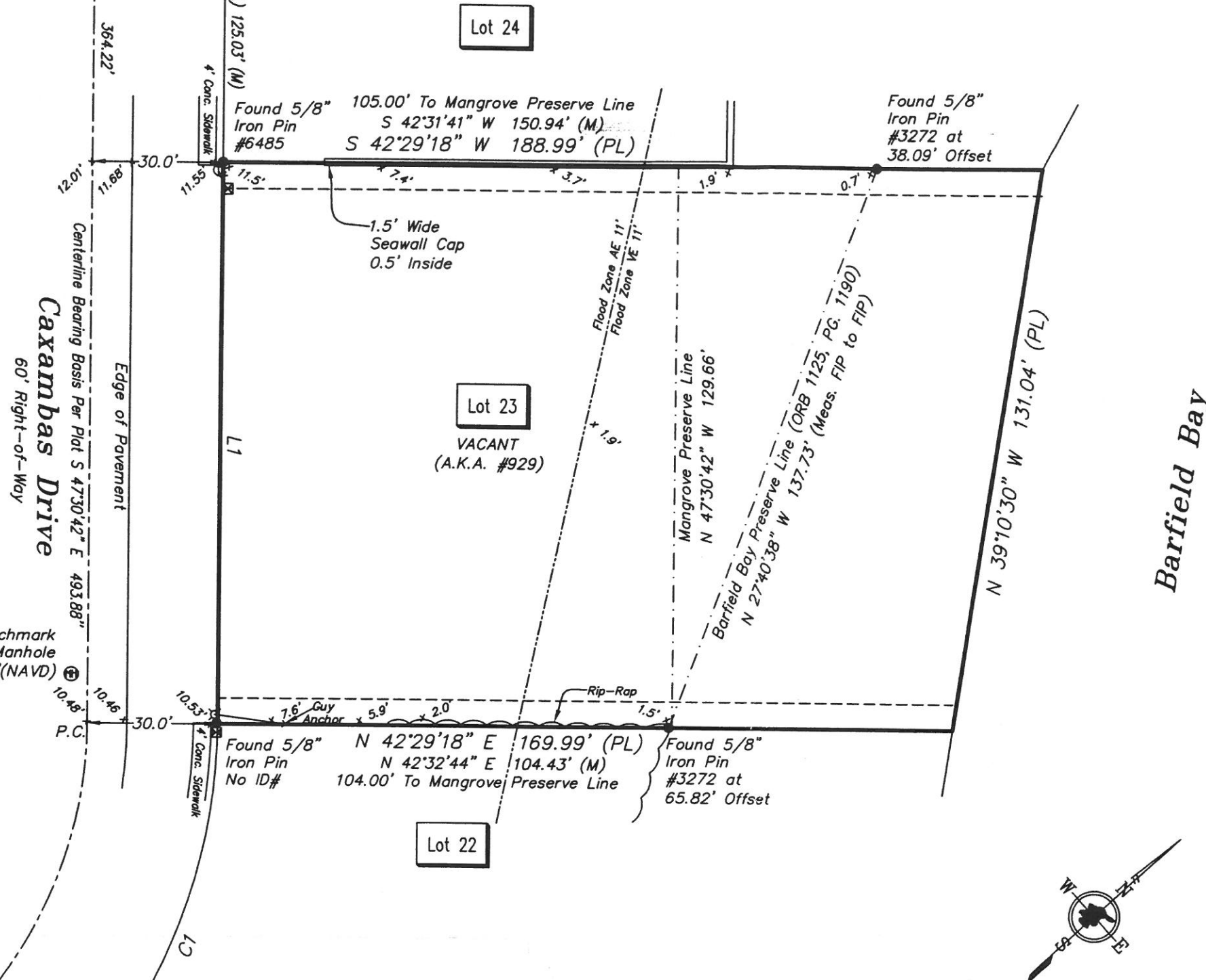
LEGEND:	
■ = FOUND CONCRETE MONUMENT	BB = BEARING BASIS-PLAT
□ = SET CONCRETE MONUMENT (LB # 3964)	MEAS = MEASURED = M
● = FOUND IRON PIN	CALC. = CALCULATED
○ = SET 5/8" IRON PIN (LB # 3964)	Δ = DELTA ANGLE
▲ = FOUND NAIL	R = RADIUS
△ = SET NAIL	CH = CHORD
⊙ = FOUND DRILL HOLE	CB = CHORD BEARING
⊖ = SET DRILL HOLE	DE = DRAINAGE EASEMENT
P.C. = POINT OF CURVATURE	UE = UTILITY EASEMENT
P.T. = POINT OF TANGENCY	CONC. = CONCRETE
P.I. = POINT OF INTERSECTION	R/W = RIGHT-OF-WAY
L.B. = LAND SURVEYING BUSINESS	CL = CENTERLINE
C.B.S. = CONCRETE BLOCK STRUCTURE	L.S. = LAND SURVEYOR
C/S = CONCRETE SLAB	EL = ELEVATION
P.R.C. = POINT OF REVERSE CURVATURE	PL = PLAT
P.R.M. = PERMANENT REFERENCE MONUMENT	☒ = CABLE TV SERVICE
P.C.P. = PERMANENT CONTROL POINT = ⊙	☒ = CONC POWER POLE
⊕ = WATER METER	⊕ = TELEPHONE SERVICE
⊕ = SANITARY CLEAN OUT	⊕ = ELECTRIC SERVICE
⊕ = WATER VALVE	⊕ = SANITARY MANHOLE
	* = BACTERIAL SAMPLE POINT

SURVEY DATE: 5/22/2018
FIELD BOOK 691 PAGE 48
DRAWN BY: PSC SCALE: 1" = 20'

REVISIONS:	BOOK	PAGE

 **A. TRIGO & ASSOCIATES, INC.**
PROFESSIONAL LAND SURVEYORS & MAPPERS
2223 TRADE CENTER WAY
NAPLES, FLORIDA 34109
LAND SURVEYING BUSINESS # 3964

FILE NO: A 18.0085



FLOOD ZONE INFORMATION
FLOOD ZONE: AE 11' & VE 11'(NAVD)
COMMUNITY: 120426
PANEL: 0837 H
DATE: 5-16-2012

NOTE: ELEVATIONS ARE BASED ON
THE NORTH AMERICAN VERTICAL
DATUM OF 1988(NAVD)

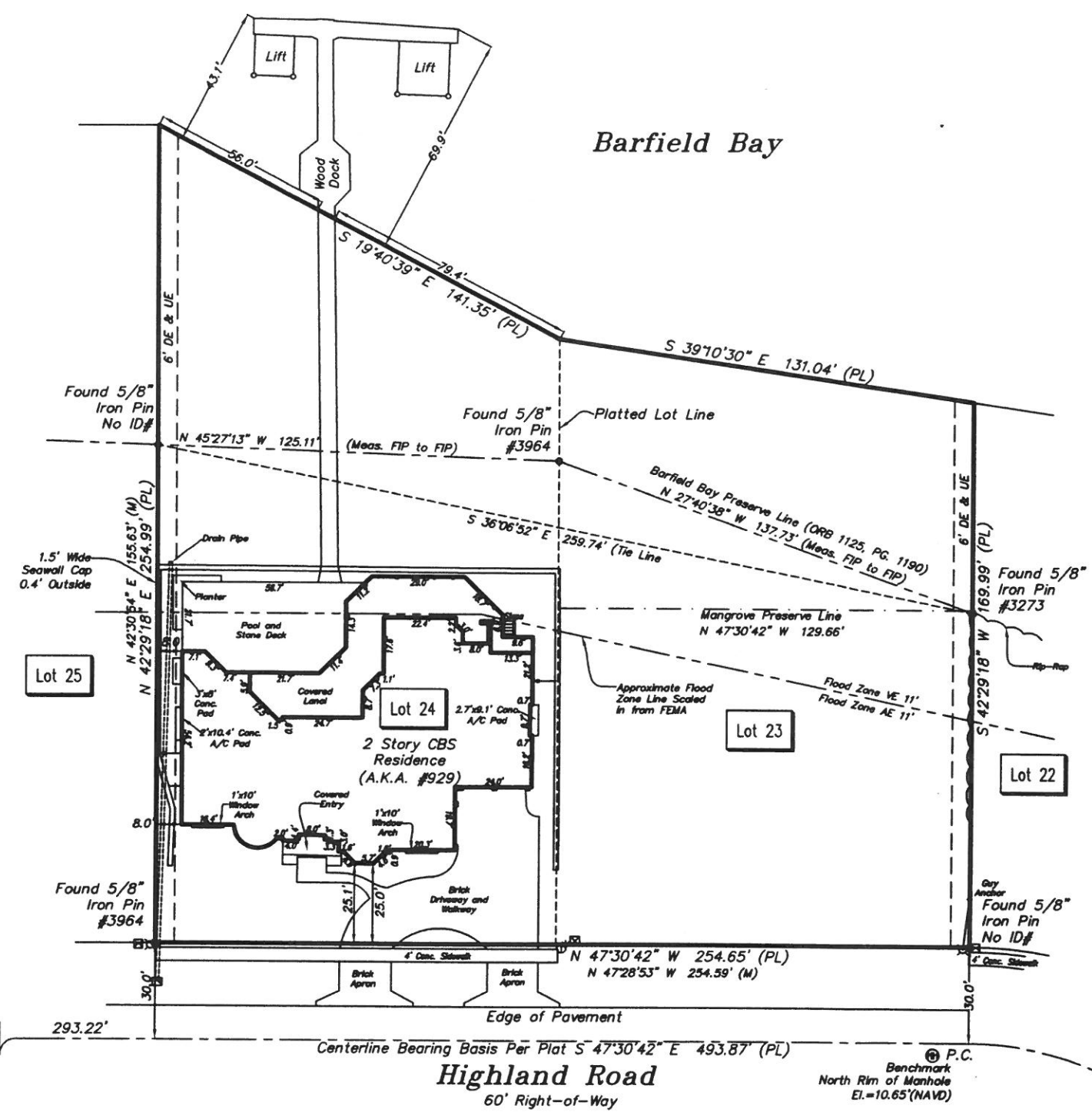


CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1 (PL)	130.00'	103.53'	100.82'	S 24°41'46" E	45°37'53"
C1 (M)			100.97'	S 24°52'34" E	



Legal Description

As provided by client
Lots 23 & 24, Marco Beach Unit Thirteen, as
Recorded in Plat Book 6, Page 92-99 of the
Public Records of Collier County, Florida



LEGEND:

- | | |
|---------------------------------------|--------------------------|
| ■ = FOUND CONCRETE MONUMENT | BB = BEARING BASIS-PLAT |
| □ = SET CONCRETE MONUMENT (LB # 3964) | MEAS = MEASURED = M |
| ● = FOUND IRON PIN | CALC. = CALCULATED |
| ○ = SET 5/8" IRON PIN (LB # 3964) | Δ = DELTA ANGLE |
| △ = FOUND NAIL | R = RADIUS |
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| ⊙ = FOUND DRILL HOLE | CB = CHORD BEARING |
| ⊖ = SET DRILL HOLE | D.E. = DRAINAGE EASEMENT |
| P.C. = POINT OF CURVATURE | U.E. = UTILITY EASEMENT |
| P.T. = POINT OF TANGENCY | CONC. = CONCRETE |
| P.I. = POINT OF INTERSECTION | R/W = RIGHT-OF-WAY |
| L.B. = LAND SURVEYING BUSINESS | C = CENTERLINE |
| C.B.S. = CONCRETE BLOCK STRUCTURE | L.S. = LAND SURVEYOR |
| L.M.E. = LAKE MAINTENANCE EASEMENT | ELEV = ELEVATION |
| P.R.C. = POINT OF REVERSE CURVATURE | PL = PLAT |
| P.R.M. = PERMANENT REFERENCE MONUMENT | B = CABLE TV SERVICE |
| P.C.P. = PERMANENT CONTROL POINT = ● | H = CONC POWER POLE |
| W = WATER METER | T = TELEPHONE SERVICE |
| ⊕ = SANITARY CLEAN OUT | ⊖ = ELECTRIC SERVICE |
| WV = WATER VALVE | ⊙ = SANITARY MANHOLE |
| | + = FIRE HYDRANT |

WE HEREBY CERTIFY TO

ROSS TACKETT CUSTOM HOMES

THAT A SURVEY OF THE HEREON DESCRIBED PROPERTY WAS MADE UNDER MY DIRECTION AND THAT IT MEETS THE MINIMUM TECHNICAL STANDARDS AS SET FORTH IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE.

5J-17.051(3)(b)4 - NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF THE FLORIDA LICENSED SURVEYOR AND MAPPER.

5J-17.051(3)(b)6 - ADDITION OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES, IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.

THERE ARE NO ENCROACHMENTS OTHER THAN SHOWN, NO BOUNDARY LINE DISPUTES, EASEMENTS OR CLAIMS OF EASEMENTS OF WHICH I HAVE KNOWLEDGE, EXCEPT AS SHOWN.

P.L.S. DATE: 5/22/18
A. TRIGO
FLORIDA CERTIFICATE NO. 2982
NOT VALID UNLESS SEALED
THIS CERTIFICATION IS ONLY FOR THE LANDS AS DESCRIBED ABOVE. IT IS NOT A CERTIFICATION OF TITLE, ZONING OR FREEDOM FROM ENCUMBRANCE.
ABSTRACT NOT REVIEWED

MAP OF RECORD SURVEY

REVISIONS:		FOR: ROSS TACKETT CUSTOM HOMES	
		Lots 23 & 24, Marco Beach Unit Thirteen, as Recorded in Plat Book 6, Page 92-99 of the Public Records of Collier County, Florida	
ACAD FILE: MARCO\UNIT13\23&24-403-13.DWG		A. TRIGO & ASSOCIATES, INC. PROFESSIONAL LAND SURVEYORS & MAPPERS 2223 TRADE CENTER WAY NAPLES, FLORIDA 34109 LAND SURVEYING BUSINESS # 2004	
DATE: 5/22/2018	SCALE: 1"=30'	DRAWN: PSC	CHECKED: AT
BOOK 590/691 PAGE 52/48		FILE NO: R 18 0085	

ELEVATIONS ARE BASED ON THE NORTH
AMERICAN VERTICAL DATUM OF 1988(NAVD)
PROPERTY LIES IN FLOOD ZONE AE 11' AND VE 11'
COMM/PANEL #120426 0837 H, DATED 5/16/2012

