
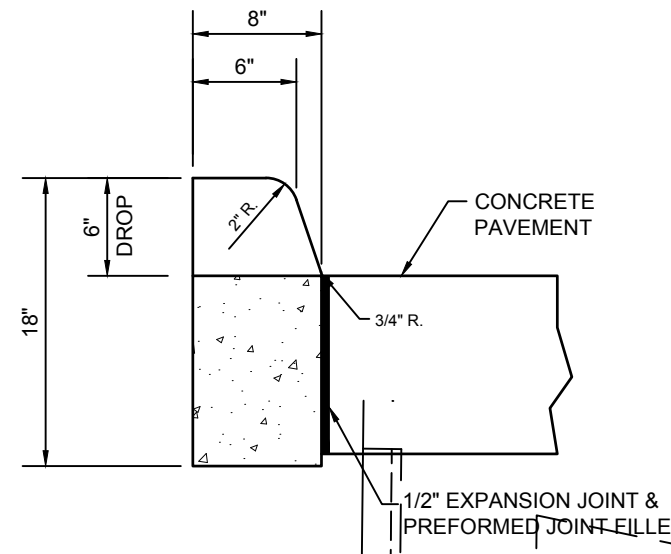




PLANS FOR
CONSTRUCTION

| | | |
|---|--|--|
| CLIENT NAME: | OLIVERIO INVESTMENT AND CONSULTING, INC. | |
| | PROJECT NAME: | 287 N. COLLIER INSUBSTANTIAL CHANGE PLANS |
| DESIGNED BY: | M.W.D. | DRAWING TITLE: AERIAL |
| DRAWN BY: | K.A.M. | |
| CHECKED BY: | M.W.D. | |
| REVIEWED BY: | E.J.R. | |
| DATE: | HORIZ. SCALE (24X36): 1" = 10' | |
| | HORIZ. SCALE (11X17): 1" = 20' | |
| REVISION: | | |
|  | | |
| ENGINEER'S SEAL | STAMPS | |
| SHEET | 2 | |
| OF | 3 | |

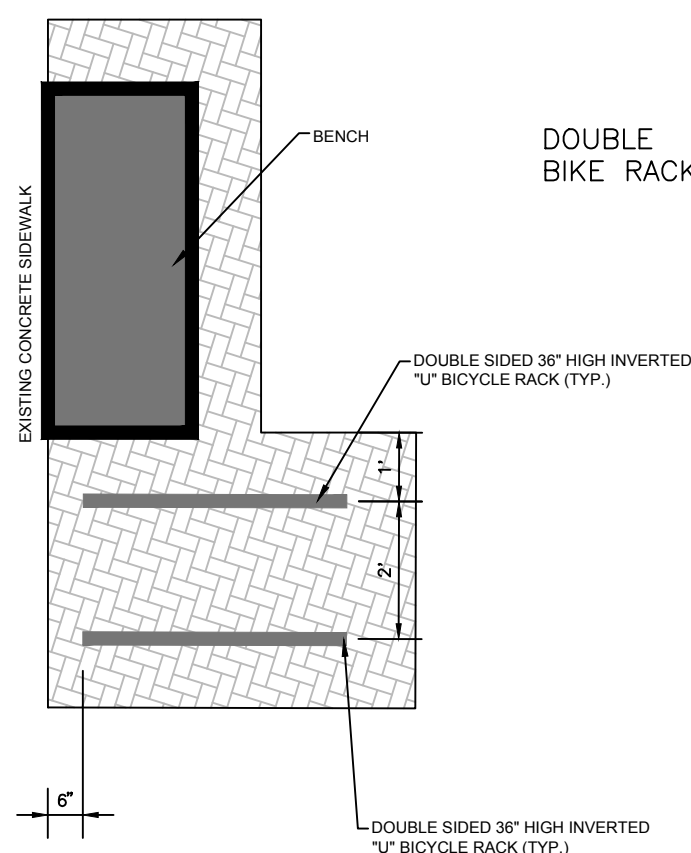
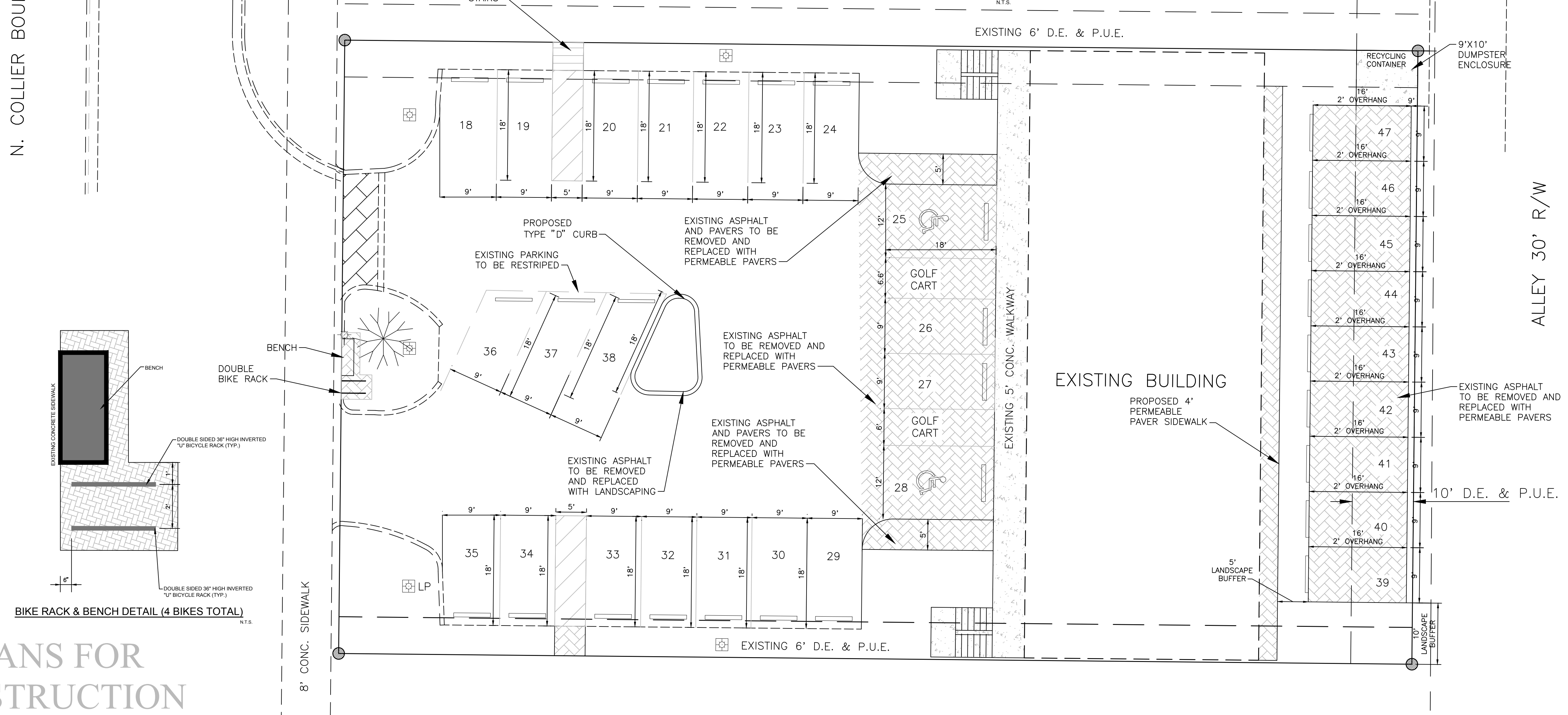
N. COLLIER BOULEVARD 100' R/W



NOTES:

- CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF 4000 P.S.I. IN 28 DAYS UNLESS OTHERWISE NOTED.
- WHEN USED ON THE HIGH SIDE OF THE ROADWAYS, THE CROSS SLOPE OF THE GUTTER SHALL MATCH THE CROSS SLOPE OF THE ADJACENT PAVEMENT. THE THICKNESS OF THE FACE WILL BE LESS.
- CONTRACTION JOINTS FOR CURBS AND GUTTERS, AND VALLEY GUTTERS SHALL BE CONSTRUCTED WITH CONTRACTION JOINTS AT INTERVALS OF 10 FEET EXCEPT WHERE SHORTER INTERVALS ARE REQUIRED FOR CLOSURES, BUT NO JOINT SHALL BE CONSTRUCTED AT INTERVALS OF LESS THAN 4 FEET. SIDEWALKS AND CONCRETE MEDIANS SHALL BE CONSTRUCTED WITH CONTRACTION JOINTS AT INTERVALS EQUAL TO THE WIDTH OF THE WALK OR MEDIAN RESPECTIVELY UNLESS OTHERWISE NOTED ON PLANS. CONTRACTION JOINTS MAY BE OF THE OPEN TYPE OR SAWED. CONSTRUCTION PROCEDURES OF CONTRACTION JOINTS SHALL CONFORM TO THE SPECIFICATIONS SET FORTH IN THE "FDOT SPEC."
- EXPANSION JOINTS FOR CURBS, CURB AND GUTTERS, AND VALLEY GUTTERS SHALL BE CONSTRUCTED WITH EXPANSION JOINTS AT ALL INLETS. ALL POINTS WHERE OPERATIONS CEASE FOR ANY CONSIDERABLE TIME AT INTERVALS OF NOT MORE THAN 500 FEET. WALKS AND CONCRETE MEDIANS SHALL BE CONSTRUCTED WITH EXPANSION JOINTS AT POINTS OF WALK OR MEDIAN TERMINATION AGAINST AN UNYIELDING SURFACE AND AT INTERVALS NOT TO EXCEED 120 FEET. EXPANSION JOINTS SHALL BE CONSTRUCTED WITH "PVC" SLIPS ENCASED WITH REINFORCING BARS. EXPANSION JOINT MATERIAL SHALL BE 1/2 INCH BITUMINOUS IMPREGNATED EXPANSION JOINT MATERIAL WHICH MEETS THE REQUIREMENTS OF "FDOT SPEC, 932-1.1". EXPANSION JOINTS BETWEEN THE SIDEWALK AND THE CURB OR DRIVEWAY OR AT FIXED OBJECTS AND SIDEWALK INTERSECTIONS SHALL BE 1/2 INCH JOINTS, FORMED WITH A PREFORMED JOINT FILLER MEETING THE REQUIREMENTS SPECIFIED IN "FDOT SPEC, 932-1.1".

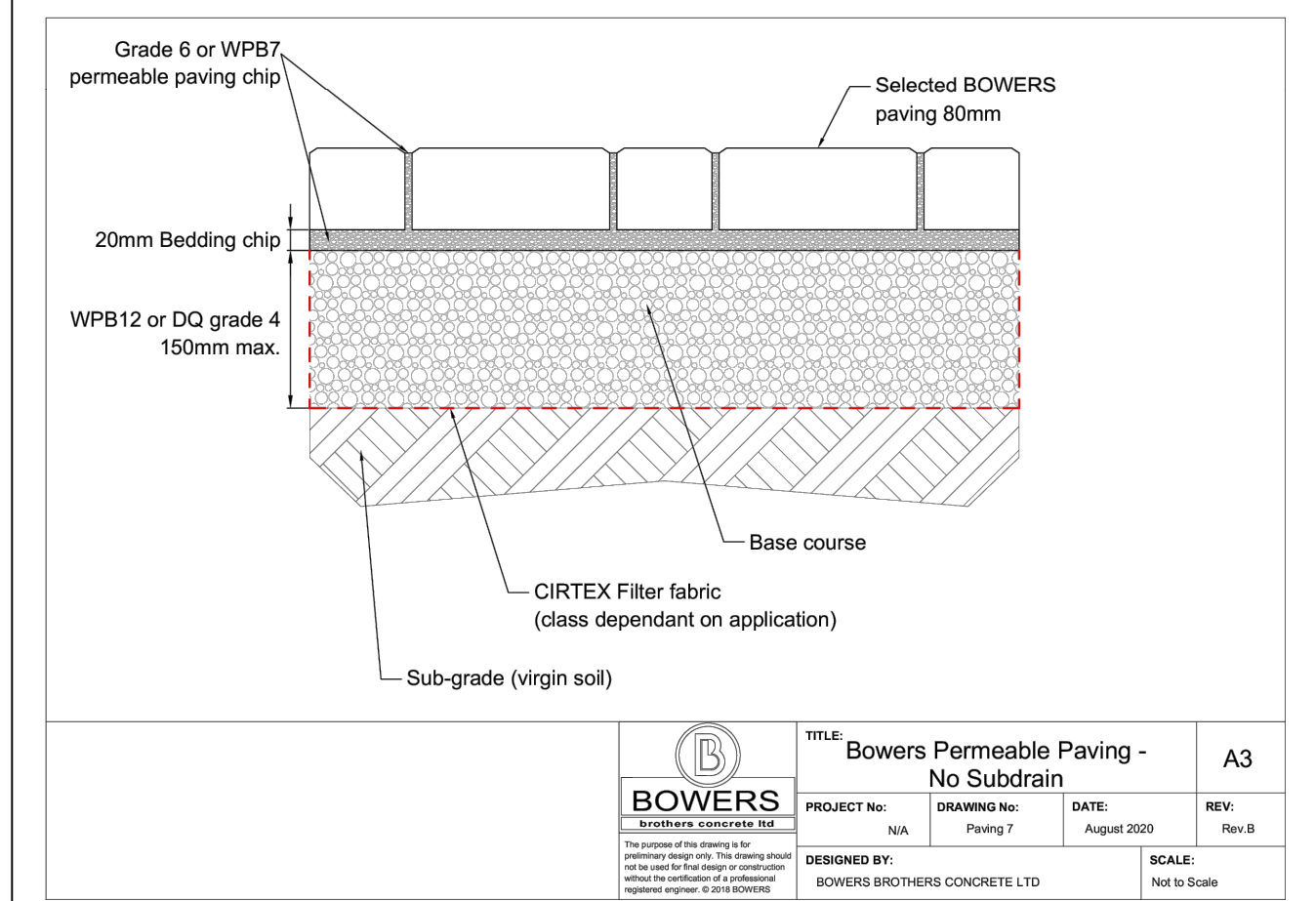
F.D.O.T. TYPE "D" CURB/ DROP CURB



PLANS FOR CONSTRUCTION

| 287 N. Collier Building Onsite Parking | | | |
|--|--------------------------|-----------------|------------------|
| USE AND QUANTITY | REQUIRED PARKING RATIO | SPACES REQUIRED | |
| Unit 1-2 First Floor La Miranda | 12 Technicians | 18 | |
| Unit 2 First Floor Retail (1000 SF) | 1 Parking Spot/250 SF | 4 | |
| Restaurant Offices | 1 Parking Spot/4 Seats | 0 | |
| Office Space (2100 SF) | 1 Parking Spot/300 SF | 7 | |
| Sub-Total | | 29 | |
| 297 N. Collier Building Onsite Parking | | | |
| USE AND QUANTITY | REQUIRED PARKING RATIO | SPACES REQUIRED | |
| Single Use Restaurant (120 Seats) | 1 Parking Spot/4 Seats | 30 | |
| Sub-Total | | 30 | |
| Total Parking Required (before credits) | | 59 | |
| CREDITS | | | |
| Pedestrian Walkway (1) | Parking Credit | -1 | |
| Bicycle Rack 287 (1) | | -1 | |
| Bicycle Rack 297 (1) | | -1 | |
| Interconnect 15% Credit | | -9 | |
| Total Credits (shall not exceed 20% of required parking) | | -12 | |
| Total Parking Required | | 47 | |
| 287 N. Collier Building & 297 N. Collier Building | | | |
| PARKING COMPONENTS | COMPONENT LIMITATIONS | PARKING ALLOWED | PARKING PROVIDED |
| Regular Spaces | N/A | N/A | 39 |
| Compact Spaces | 25% of Total (max) | 13 | 4 |
| Handicapped Spaces | 3 Reserved for 49 Spaces | 3 | 4 |
| Total Parking Provided | | 47 | |
| Golf Car Parking | | 0 | 2 |

| 287 Pervious/Impervious | |
|--|--------------|
| Existing Impervious | Acres |
| Asphalt and Curb | 0.22 |
| Concrete Sidewalk, Stairs, and Existing Pavers | 0.03 |
| Building | 0.09 |
| Total Existing Impervious | 0.34 |
| Existing Pervious | 0.06 |
| Total Site Acreage | 0.40 |
| Proposed Impervious | Acres |
| Asphalt and Curb | 0.19 |
| Concrete Sidewalk, Stairs, and Existing Pavers | 0.02 |
| Building | 0.09 |
| Total Proposed Impervious | 0.30 |
| Proposed Pervious | 0.10 |
| Total Site Acreage | 0.40 |



CLIENT NAME: OLIVERIO INVESTMENT AND CONSULTING, INC.

PROJECT NAME: 287 N. COLLIER INSUBSTANTIAL CHANGE PLANS

DRAWING TITLE: MASTER SITE PLAN

DESIGNED BY: M.W.D.
 DRAWN BY: P.W.B.
 CHECKED BY: M.W.D.
 REVIEWED BY: E.J.R.

DATE: 10/14/24
 10/14/24
 11/21/24
 11/02/25
 11/28/26

REVISION: REVISED PER CITY OF MARCO COMMENTS
 REVISED PER CITY OF MARCO COMMENTS
 REVISED PER CITY OF MARCO COMMENTS
 REVISED PER CITY OF MARCO COMMENTS

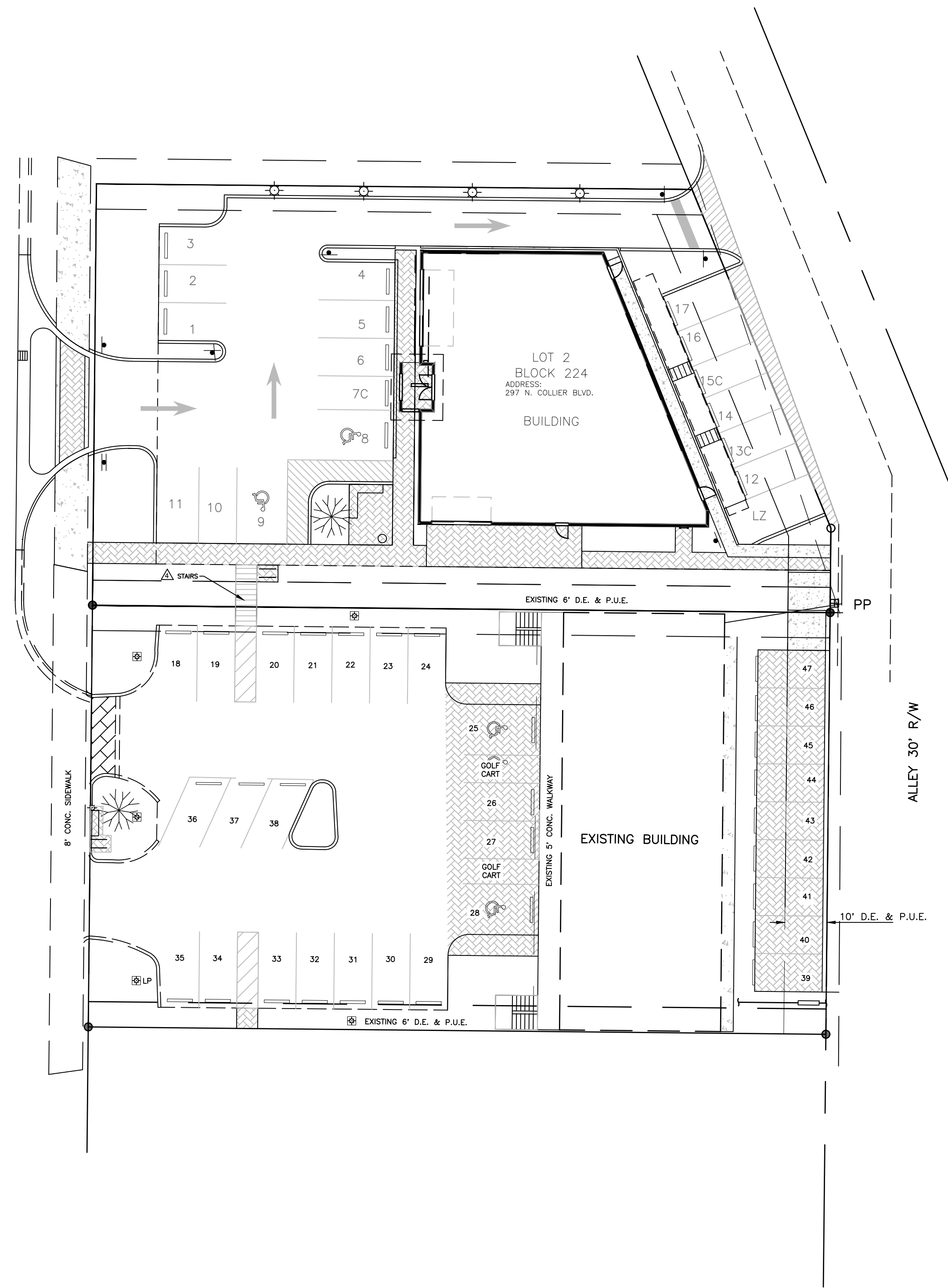
HORIZ. SCALE (24X36): 1" = 10'
 HORIZ. SCALE (11X17): 1" = 20'

ENGINEER'S SEAL STAMPS

ROBAU a Bowman company

SHEET 3 OF 3

PERMIT
APPLICATION
SET - NOT FOR
CONSTRUCTION



CLIENT NAME:
DORENO LLC

PROJECT NAME:
287 AND 297 NORTH COLLIER

DRAWING TITLE:
PARKING AGREEMENT EXHIBIT

DESIGNED BY: E.J.R.
DRAWN BY: P.W.B.
CHECKED BY: E.J.R.
REVIEWED BY: E.J.R.

HORIZ. SCALE (24X36): 1" = 20'
HORIZ. SCALE (11X17): 1" = 40'

DATE:
11/10/25

REVISION:
REMOVED PARKING MATRIX AND REMOVED RAMP



ENGINEER'S SEAL STAMPS

SHEET 1
OF 1