

SITE DEVELOPMENT PLAN
FOR
BARGAIN BASKET MARCO ISLAND

LOCATED IN MARCO ISLAND, COLLIER COUNTY, FL.
SECTION 8, TOWNSHIP 52S, RANGE 26E

PROPERTY OWNER /DEVELOPER

UNITED CHURCH OF MARCO ISLAND
750 BALD EAGLE DRIVE
MARCO ISLAND, FL 34145

MARCO ISLAND
FIRE RESCUE



Reviewed and approved for Fire Code Compliance
pursuant to FFPC 1:1.14

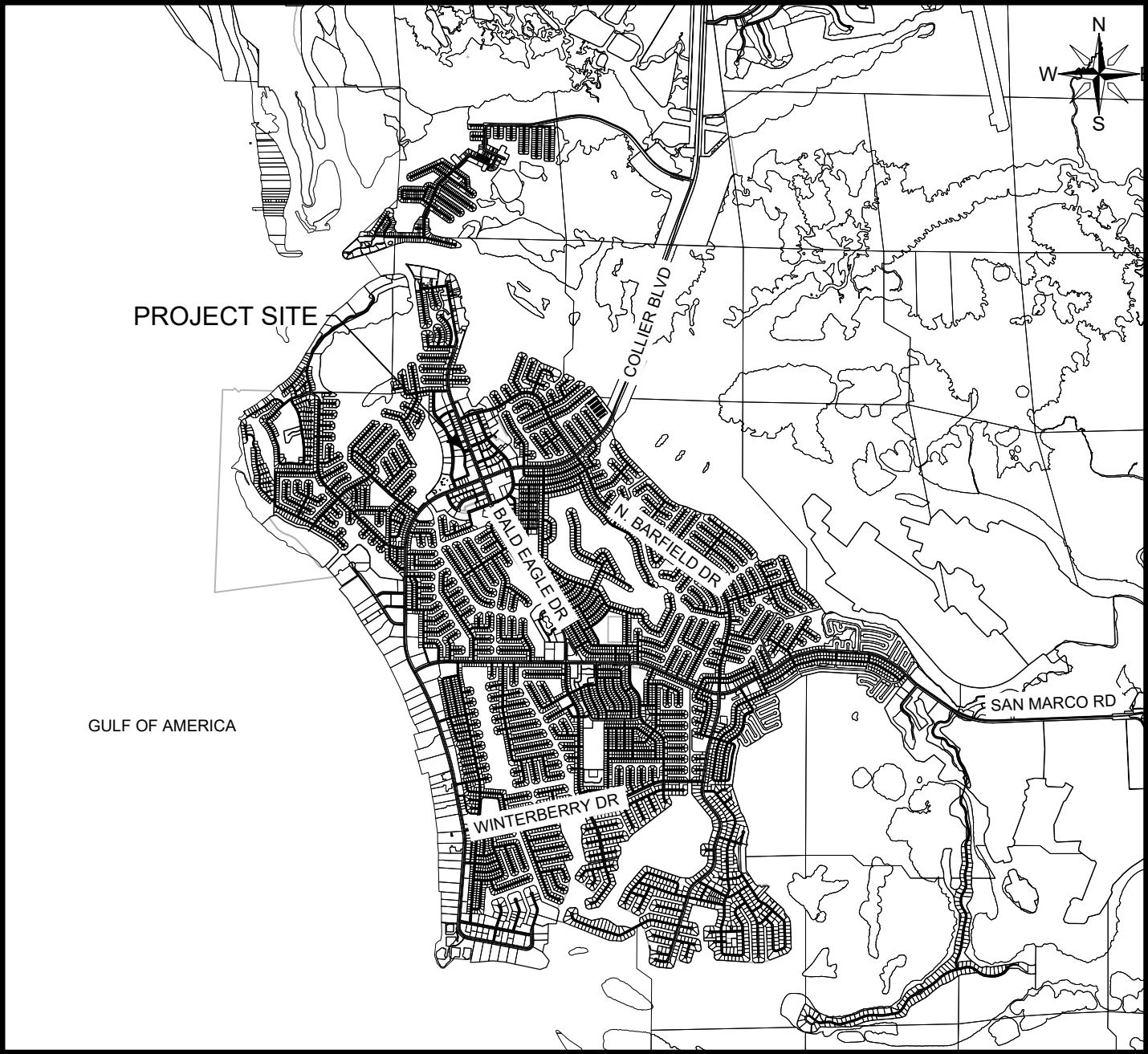
Plans must be on the job site at the time of inspection.
Any errors or omissions in these plans shall be made
to conform with applicable code requirements.

Daniel Zunzunegui, Fire Marshal
04/22/2025

INDEX OF SHEETS	
Sheet Number	Sheet Description
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2	GENERAL NOTES
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5	GRADING, PACING AND DRAINAGE PLAN
6	EROSION CONTROL AND DEMOLITION PLAN
7	GENERAL AND DRAINAGE DETAILS
8	GENERAL DETAILS

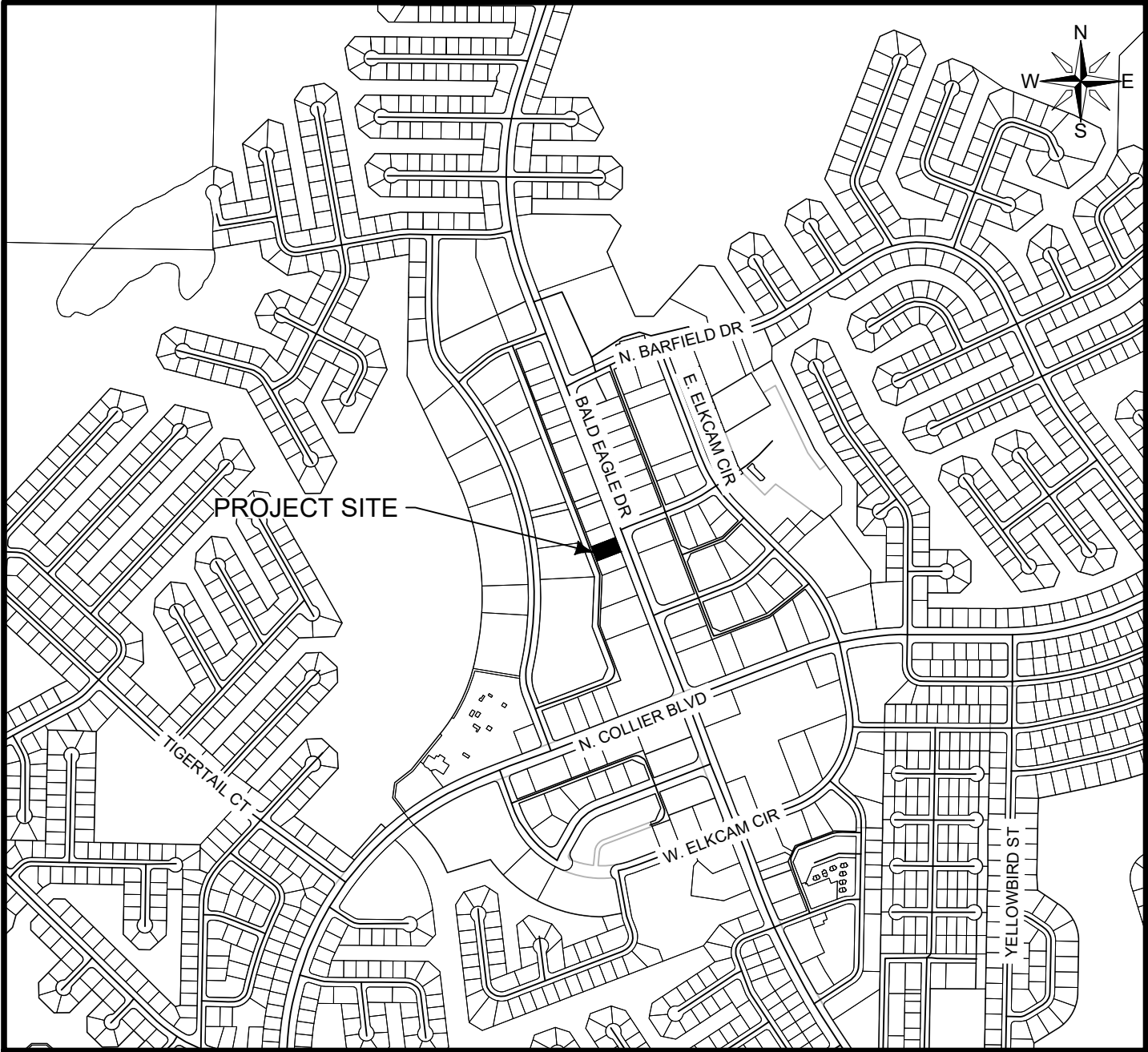
PROPERTY INFORMATION	
PROPERTY ADDRESS:	750 BALD EAGLE DR, MARCO ISLAND, FL 34145
FOLIO ID.:	57991200001
STRAP NUMBER:	.
PARCEL AREA:	###.### S.F.
BASE ZONING:	.
ZONING OVERLAY:	.
SFWM D PERMIT NUMBER:	.

FEMA INFORMATION	
FLOOD ZONE:	####
FEMA PANEL NUMBER:	.
FLOOD PANEL EFFECTIVE DATE:	.



LOCATION MAP

Scale: 1" = 1 Mile



VICINITY MAP

Scale: 1" = 1,000'

LEGAL DESCRIPTION			
CODE DATA			
BUILDING CODE	FLORIDA BUILDING CODE: EXISTING INCL. CH 8 ALTERATION LEVEL 2 INCL. CH 11 ADDITIONS INCM.	8TH ED.1	
FIRE CODE	FLORIDA FIRE PROTECTION CODE INCL. CH 37 EXISTING MERCANTILE INCL. CH 43 BLDG REHABILITATION EXISTING BLDG MODIFICATION AND ADDITION	8TH ED.	
OCCUPANCY CONSTR.TYPE FIRE SPRINKLER FIRE ALARM	GROUP M, MERCANTILE III-B NOT REQD NOT REQD		
BUILDING AREAS	EXISTING ENCLOSED BUILDING EXISTING COVERED AREAS TOTAL EXISTING STRUCTURE	5,186 SF 145 SF 5,331 SF	
	PROPOSED ENCLOSED ADDITION PROPOSED COVERED AREAS TOTAL PROPOSED ADDITIONS	2,472 SF 410 SF 2,882 SF	
	PROPOSED TOTAL BUILDING AREA ALLOWABLE BUILDING AREA- NS	8,213 SF 12,500 SF	
BUILDING HEIGHT	EXISTING BUILDING PROPOSED ADDITION 20'-0" ALLOWED HEIGHT- NS 55'-0" PROPOSED NUMBER OF STORIES 1 ALLOWED NUMBER OF STORIES- NS 2	27'-7"	
OCCUPANT LOADS	FBC MERCANTILE FBC STORAGE, STOCK, SHIPPING FBC TOTAL	SF AREA 5,186 2,472 7,658	SF FACTOR 60 300 300 OCCUPANTS 86 8 94
	NFPA MERCANTILE- SALES AREA NFPA STORAGE, RECEIVING, SHIPPING NFPA TOTAL	5,186 2,472 7,658	30 300 300 173 8 181
SEPARATION	2-HR SEPARATION BETWEEN USES		
EGRESS REQUIRED	NUMBER OF EXITS REQUIRED NUMBER OF EXITS PROVIDED TOTAL EXIT WIDTH REQUIRED TOTAL EXIT WIDTH PROVIDED	2 4 181 OCC x 0.20 RATE 5 x 34 EA	36.2 IN. 170.0 IN
FEMA	EXITISTING FINISH FLOOR PROPOSED ADDITION FFE BASE FLOOD ELEVATION FLOOD PROOF PANELS PROPOSED	8.74' NAVD 8.74' NAVD	



SAFETY IS IN YOUR HANDS.
EVERY DIG. EVERY TIME.




791 10TH STREET SOUTH, SUITE 302
NAPLES, FLORIDA 34102
PHONE: (239) 649-1551
FAX: (239) 649-7112
WWW.RDAFL.COM

PROPOSED BUILDING SUMMARY					
BUILDING(s)	TOTAL AREA UNDER ROOF (SQ.FT.)	CONSTRUCTION TYPE (FBC)	REQUIRED FIRE FLOW (GMP)	FIRE SPRINKLER (Y/N)	REDUCED FIRE FLOW (GMP)

NO. BY DATE REVISION	
SHEET TITLE: COVER SHEET	
ENGINEER'S STAMP 	Micha el J Delate MICHAEL J. DELATE, P.E. FL. LICENSE NO. 49442 COA #31149 This item has been digitally signed and sealed by Michael J. Delate, P.E. on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic documents.
DATUM NOTE: ALL ELEVATIONS SHOWN REFERENCE NORTH AMERICAN VERTICAL DATUM 1988 (NAV88) CONVERSION FACTOR TO NATIONAL GEODETIC VERTICAL DATUM 1929 (NGVD29) IS 1.156	
DESIGNED BY: B.B.	DRAWN BY: M.A.
CHECKED BY: M.J.D.	DATE: MARCH 2025
PROJECT NO: RDA250152	
SHEET: 1 of 8	

3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH MARCO ISLAND AND STATE STANDARDS AND SPECIFICATIONS.
2. ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM 1988 (NAVD 88) UNLESS OTHERWISE NOTED.
3. TO CONVERT TO NATIONAL GEODETIC VERTICAL DATUM (NGVD - 1929), ADD 1.309.
4. EXISTING DRAINAGE STRUCTURES WITHIN CONSTRUCTION LIMITS SHALL REMAIN, UNLESS OTHERWISE NOTED IN THE PLANS.
5. IF ANY CORNER OR LAND PROPERTY CORNER WITHIN THE LIMITS OF CONSTRUCTION IS TO BE PROTECTED BY THE CONTRACTOR IF A CORNER MONUMENT IS IN DANGER OF BEING DESTROYED AND HAS NOT BEEN PROPERLY REFERENCED, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER. ANY SURVEY MONUMENT DESTROYED BY CONSTRUCTION ACTIVITIES SHALL BE REPLACED BY A REGISTERED SURVEYOR & MAPPER AT THE CONTRACTOR'S EXPENSE.
6. COORDINATES ARE IN STATE PLANE EAST.
7. CONTRACTOR SHALL NOT DISTURB AREAS BEYOND 5 FEET OUTSIDE PROPOSED TOE-OF-SLOPE OR TOP OF DITCH. CONTRACTOR SHALL NOT WORK OUTSIDE OF RIGHT OF WAY LINE OR EASEMENTS.
8. BLACK SILT FENCE SHALL BE PLACED ALONG THE PROPERTY LINES AND/OR CONSTRUCTION LIMITS PRIOR TO CONSTRUCTION. REFER TO EROSION CONTROL PLAN SHEET FOR SILT FENCE CONSTRUCTION INFORMATION, AS APPLICABLE.
9. ALL DISTURBED AREAS SHALL RECEIVE SEED AND MULCH. EXCEPT WHERE SPECIFICALLY IDENTIFIED AS A PAY ITEM FOR A PARTICULAR AREA, SEED AND MULCH IS INCIDENTAL TO THE PROJECT.
10. UTILIZE SYNTHETIC BALES, TEMPORARY BERMING, SOD, SEED, AND MULCH TO CONTROL EROSION AS REQUIRED OR DIRECTED BY THE OWNER OR ENGINEER.
11. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREVENTION AND CONTROL OF ANY EROSION, SEDIMENTATION OR SURFACE WATER TURBIDITY CAUSED BY THEIR ACTIVITY.
12. CONTROL STRUCTURES, SEDIMENT SUMPS AND OTHER FEATURES PERMITTED AS PART OF THE WATER MANAGEMENT SYSTEM SHALL BE CONSTRUCTED AS EARLY AS POSSIBLE IN THE CONSTRUCTION SEQUENCE.
13. ALL JUNCTION BOX RIMS AND GRATE INLETS SHALL BE SET AT THE PROPOSED FINISHED GRADE. ENGINEER AND/OR OWNER MAY ADJUST RIM AND GRATE ELEVATIONS IN FIELD.
14. DURING CONSTRUCTION, GRATE INLET AND JUNCTION BOX OPENINGS SHALL BE COVERED WITH FILTER FABRIC (MIRAFI 140N OR APPROVED EQUAL) TO PREVENT DEBRIS AND FILL FROM FALLING INTO THE INLET.
15. LANDSCAPING AND IRRIGATION SHALL BE INSTALLED PRIOR TO PRELIMINARY ACCEPTANCE.
16. EXISTING REFERS TO FACILITIES PREVIOUSLY CONSTRUCTED.
17. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. ANY DEVIATION IN PLAN INFORMATION SHALL BE REPORTED TO THE ENGINEER AND OWNER'S REPRESENTATIVE IMMEDIATELY.
18. CONTRACTOR IS REQUIRED TO OBTAIN FROM THE ENGINEER AND OWNER WRITTEN APPROVAL FOR ANY DEVIATION IN PLANS AND/OR SPECIFICATIONS.
19. CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE COLLIER COUNTY GROUNDWATER PROTECTION ORDINANCE NO. 91-103, SECTION 4.10.1.1,2A.
20. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING TRAFFIC AND USAGE OF THE EXISTING STREETS ADJACENT TO THE PROJECT. ALL TRAFFIC MAINTENANCE CONTROL SHALL BE IN ACCORDANCE WITH MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AND SAFE PRACTICES FOR STREET CONSTRUCTION, MAINTENANCE, AND UTILITY OPERATIONS. TRAFFIC CONTROL OPERATION PROCEDURES SHALL BE SUBMITTED TO OWNER FOR APPROVAL PRIOR TO BEGINNING CONSTRUCTION.
21. INSTALLATION OF SUBSURFACE CONSTRUCTION, INCLUDING BUT NOT LIMITED TO WATER AND IRRIGATION LINES, SEWER LINES, PUBLIC UTILITIES AND STORM DRAINAGE IS REQUIRED PRIOR TO COMPACTION OF SUBGRADE AND ROADWAY CONSTRUCTION.
22. CONTRACTOR SHALL ATTEND PRE-CONSTRUCTION MEETING WITH MARCO ISLAND, OWNER AND ENGINEER PRIOR TO START OF CONSTRUCTION.
23. THE FIRE PROTECTION WATER SUPPLY INCLUDING FIRE HYDRANTS, SHALL BE INSTALLED AND IN-SERVICE PRIOR TO PLACING COMBUSTIBLE MATERIALS ON SITE. FIRE HYDRANTS SHALL BE MARKED IN A UNIFORM MANNER, IN ACCORDANCE WITH NFPA 291.
24. EXOTIC VEGETATION AS DEFINED BY MARCO ISLAND LAND DEVELOPMENT CODE [LDC], SHALL BE REMOVED FROM THE SITE AND SUBSEQUENT ANNUAL EXOTIC REMOVAL (IN PERPETUITY) SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
25. CONTRACTOR SHALL CLEAR ALL EXCAVATION AND FILL AREAS. ACTUAL LIMITS OF CLEARING SHALL BE DETERMINED IN THE FIELD BY OWNER OR ENGINEER.
26. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ALL TREES, BRUSH, STUMPS AND DEBRIS (INCLUDING EXISTING STRUCTURES) NOT REQUIRED TO REMAIN IN THE PROPOSED CONSTRUCTION AREA. WHERE SO DEPICTED BY THE OWNER'S REPRESENTATIVE, TREES AND VEGETATION WITHIN THE CLEARING LIMITS SHALL BE PROTECTED, LEFT STANDING, AND TRIMMED TO PREVENT DAMAGE TO LIMBS AND ROOTS DURING CONSTRUCTION.
27. CONTRACTOR SHALL REMOVE ALL MUCK AND OTHER UNSUITABLE MATERIAL FROM FILL AREAS PRIOR TO PLACEMENT OF FILL. ALL MUCK AND OTHER UNSUITABLE MATERIAL EXCAVATION FROM LAKES OR REMOVED FROM FILL AREAS SHALL BE STOCKPILED AND THEN DISPOSED OF PROPERLY. IT WOULD BE RESPONSIBILITY OF CONTRACTOR TO DISPOSE.
28. ALL FILL SLOPES SHALL BE PROPERLY COMPACTED AS REQUIRED IN THE SPECIFICATIONS AND SHALL BE SODDED AS DIRECTED BY OWNER WITHIN 28 HOURS OF FINAL GRADING.
29. THE CONTRACTOR SHALL ACCURATELY PLOT THE LOCATIONS AND DEPTHS OF ALL IMPROVEMENTS INSTALLED ON A FINAL SET OF RECORD DRAWINGS WHICH SHALL BE DELIVERED TO THE ENGINEER IMMEDIATELY.
30. THE REVIEW AND APPROVAL OF THESE IMPROVEMENT PLANS DOES NOT AUTHORIZE THE CONSTRUCTION OF REQUIRED IMPROVEMENTS WHICH ARE INCONSISTENT WITH EXISTING EASEMENTS OF RECORDS.
31. THE PROPERTY OWNER IS RESPONSIBLE FOR REPLACEMENT OF ALL DEAD LANDSCAPE MATERIAL AND MAINTENANCE OF THE REQUIRED IRRIGATION SYSTEM.
32. THE OWNER OR HIS ASSIGNEE SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE WATER MANAGEMENT SYSTEM, OPEN SPACE, COMMON AREAS, PRIVATE STREETS, AND ONSITE WATER, SEWER AND IRRIGATION.
33. CITY ROW PERMIT IS REQUIRED FOR ANY CONSTRUCTION/MAINTENANCE WORK PROPOSED WITHIN ANY PUBLIC ROADWAY ROW. CONTRACTOR REQUIRED TO APPLY FOR AND OBTAIN.

1. ASPHALTIC CONCRETE PAVEMENT SHALL BE CONSTRUCTED IN TWO LIFTS
2. 51/2" INCH LIME ROCK BASE MATERIAL MAY BE SUBSTITUTED AS ALTERNATIVE DESIGN TO THE 12 INCH STABILIZED SUBGRADE. ALL SPECIFICATIONS FOR LIMEROCK BASE MATERIAL SHALL BE ADHERED TO.
3. 12 INCH STABILIZED SUBGRADE SHALL EXTEND ON FOOT BEYOND THE BACK-OF-CURB ON ALL TYPICAL ROADWAY SECTIONS.
4. CONTRACTOR SHALL REFERENCE LANDSCAPE ARCHITECTURAL PLANS FOR GROUND COVER SPECIFICATIONS.



Marco Island Fire Rescue

Department of Fire Prevention

(239)394-5405
danielz@cityofmarcoisland.com


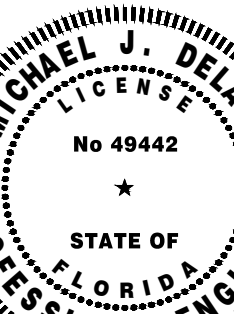
Company/Firm Requesting Test: Q. Grady Minor and Associates, LLC
Project Name: Bargain Basket
Contact Person & Email: KScher@gradyminor.com; BBasnet@gradyminor.com
Date Requested: Soonest availability
Amount Due and Payable to The Marco Island Fire Department \$113____*

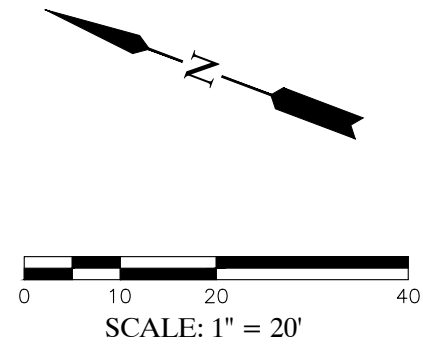
*Note: Charges for flow testing will be \$77.00 for the first hydrant and \$36.00 for each additional hydrant tested at the same date and time as the first hydrant.
Remit payment with invoice # to the link below:

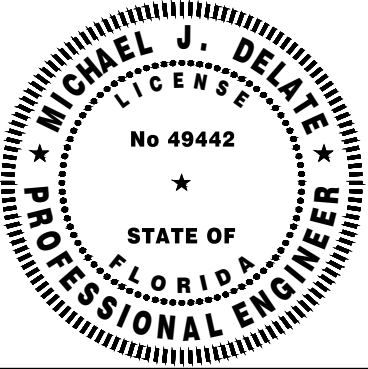
<https://marcoislandfl.muniselfservice.com/citizens/GeneralBilling/Default.aspx>

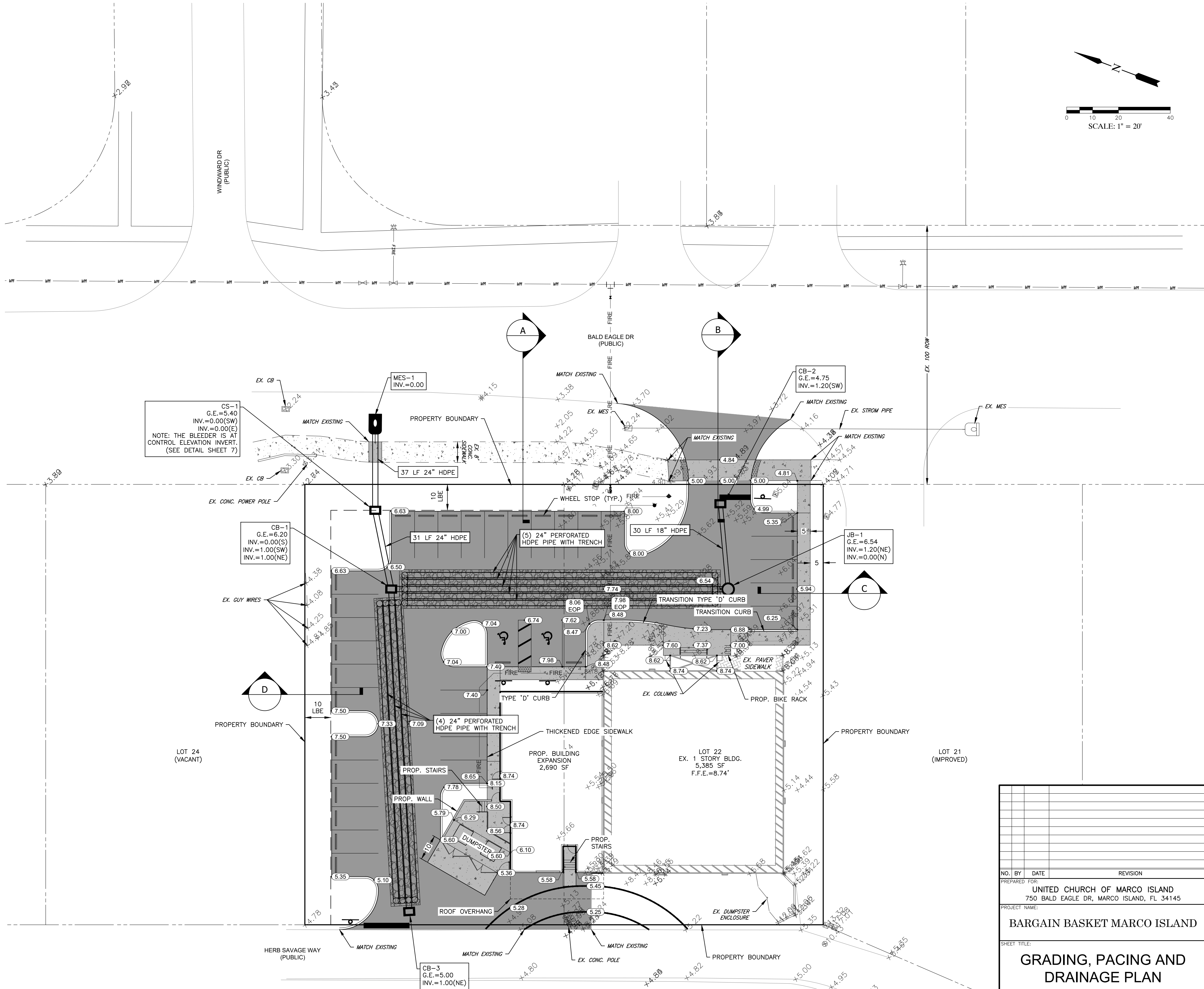
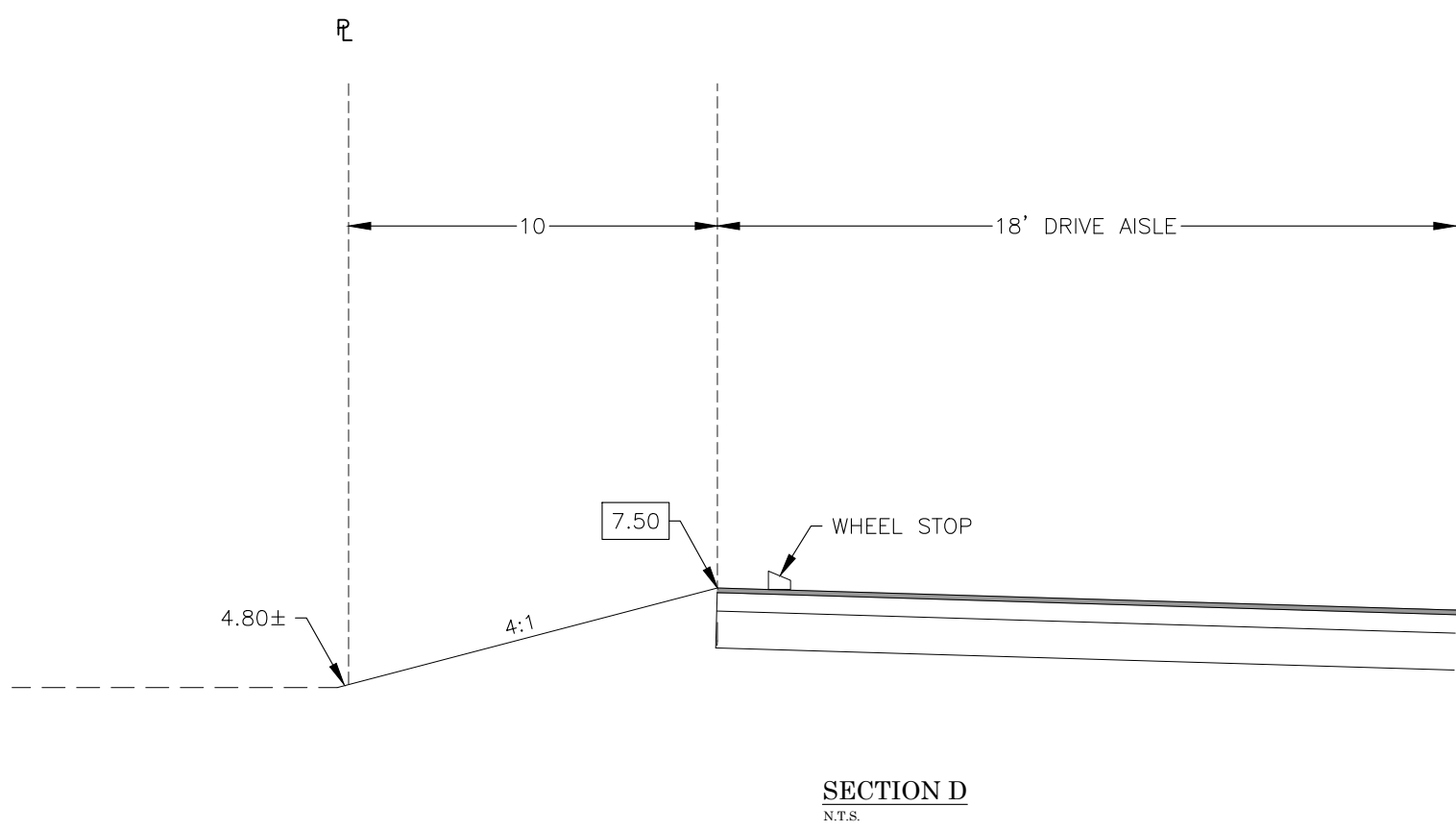
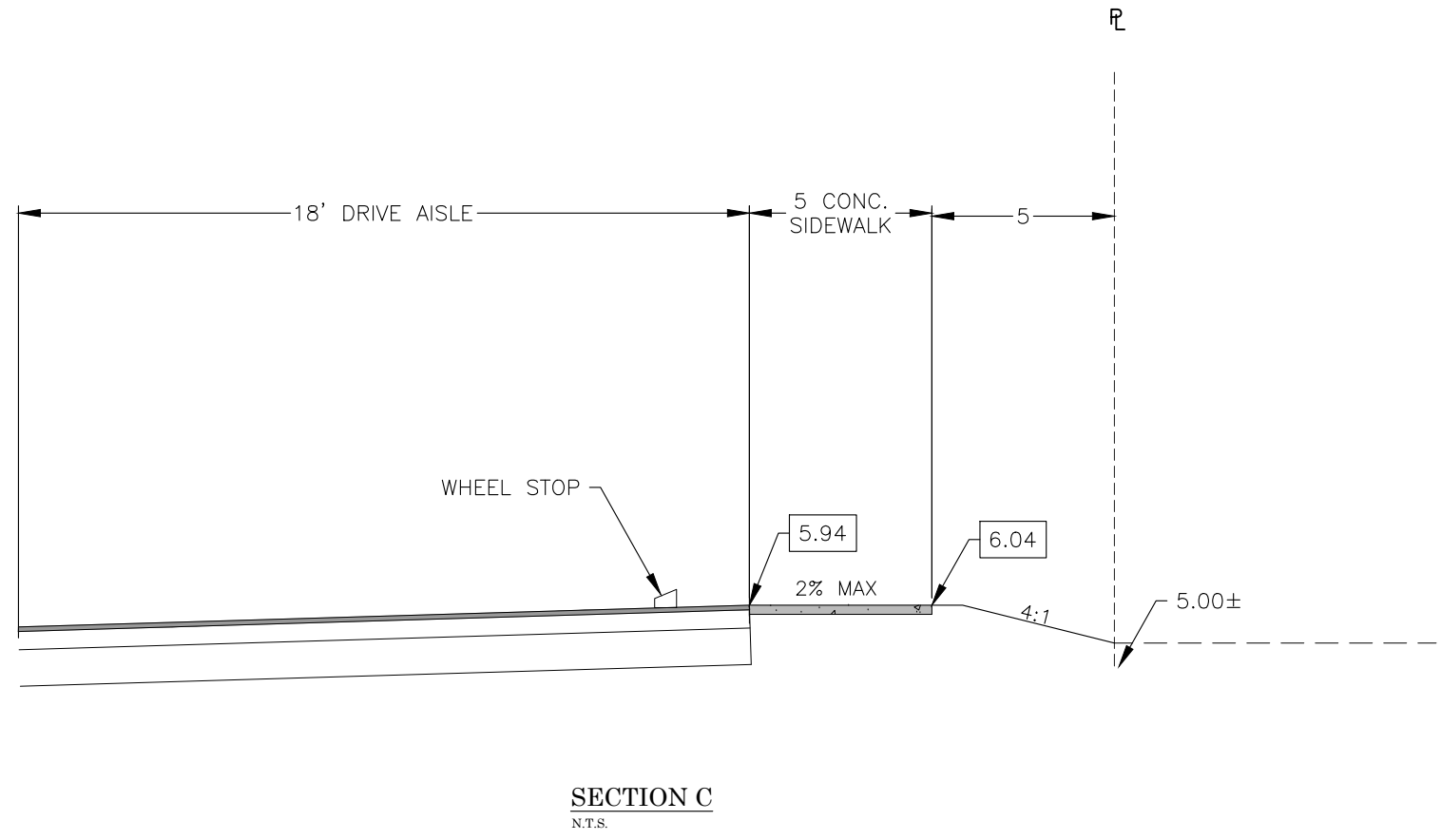
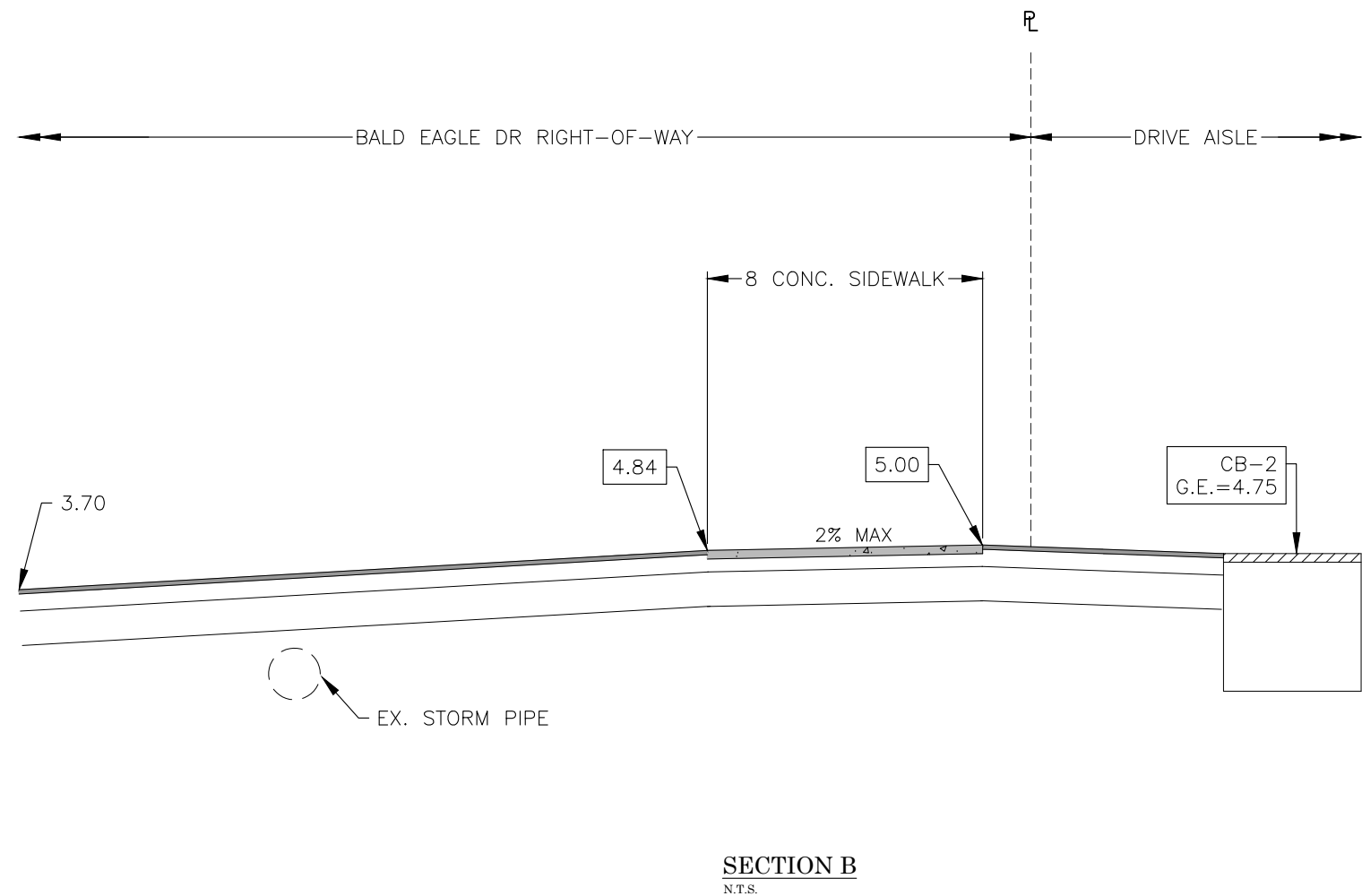
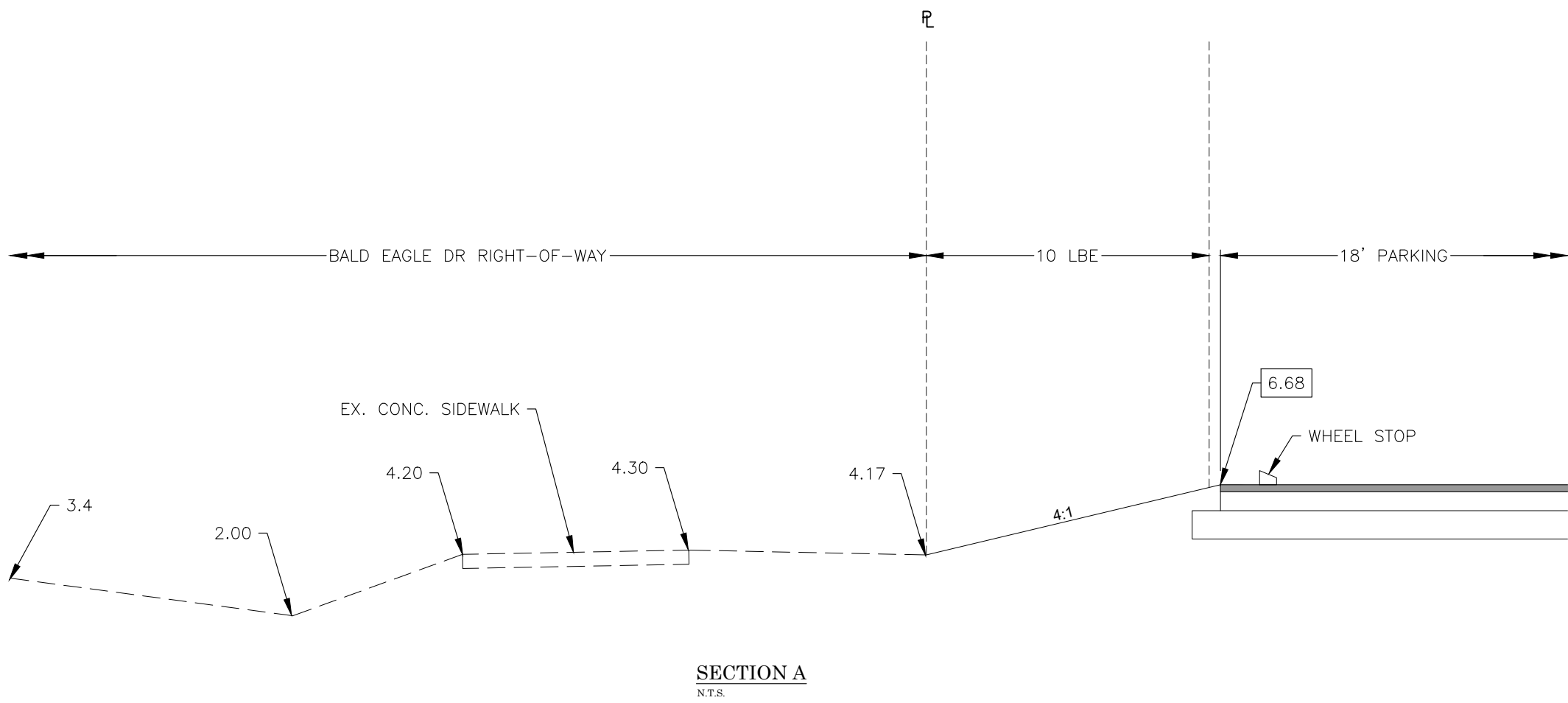
Date Tested: 10/3/24
Location: Per Request / attached map
Time of Test: 10:10 AM
Pitot: 41 Static: 85 Residual: 74
Flow: 2,149 gpm
Flow @ 20psi: Estimated 9 gpm @ 5608

1280 San Marco Road, Marco Island, FL 34145

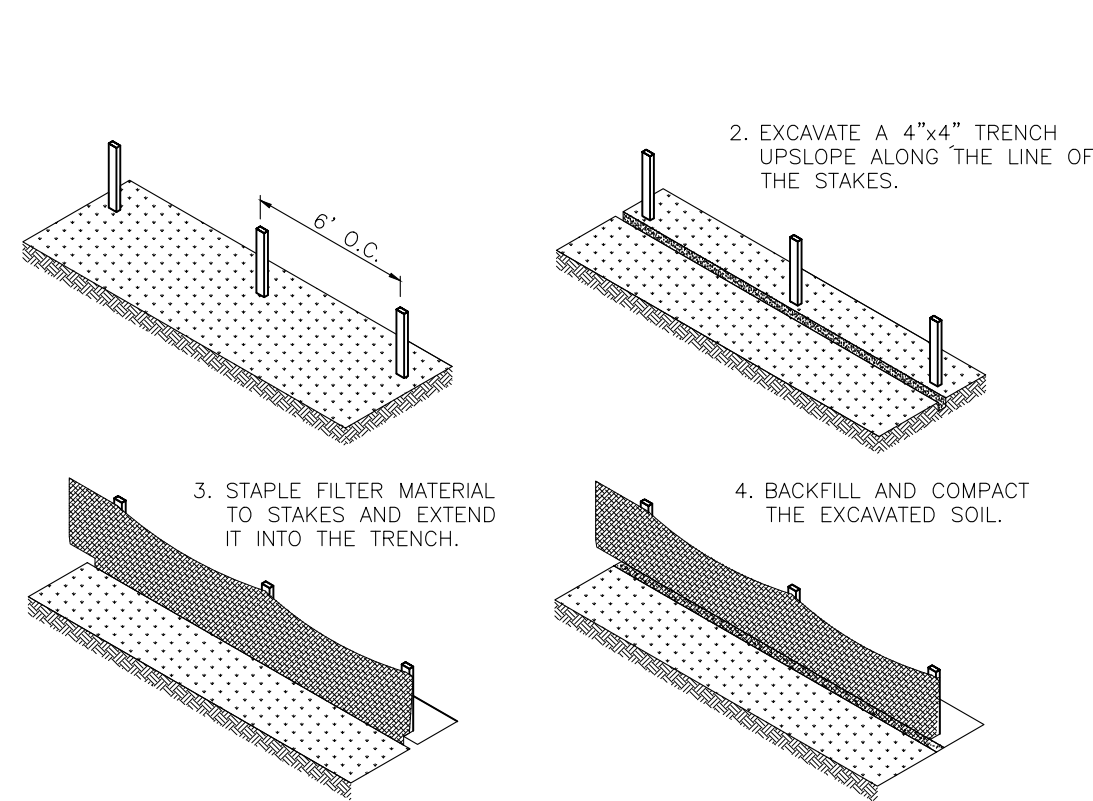
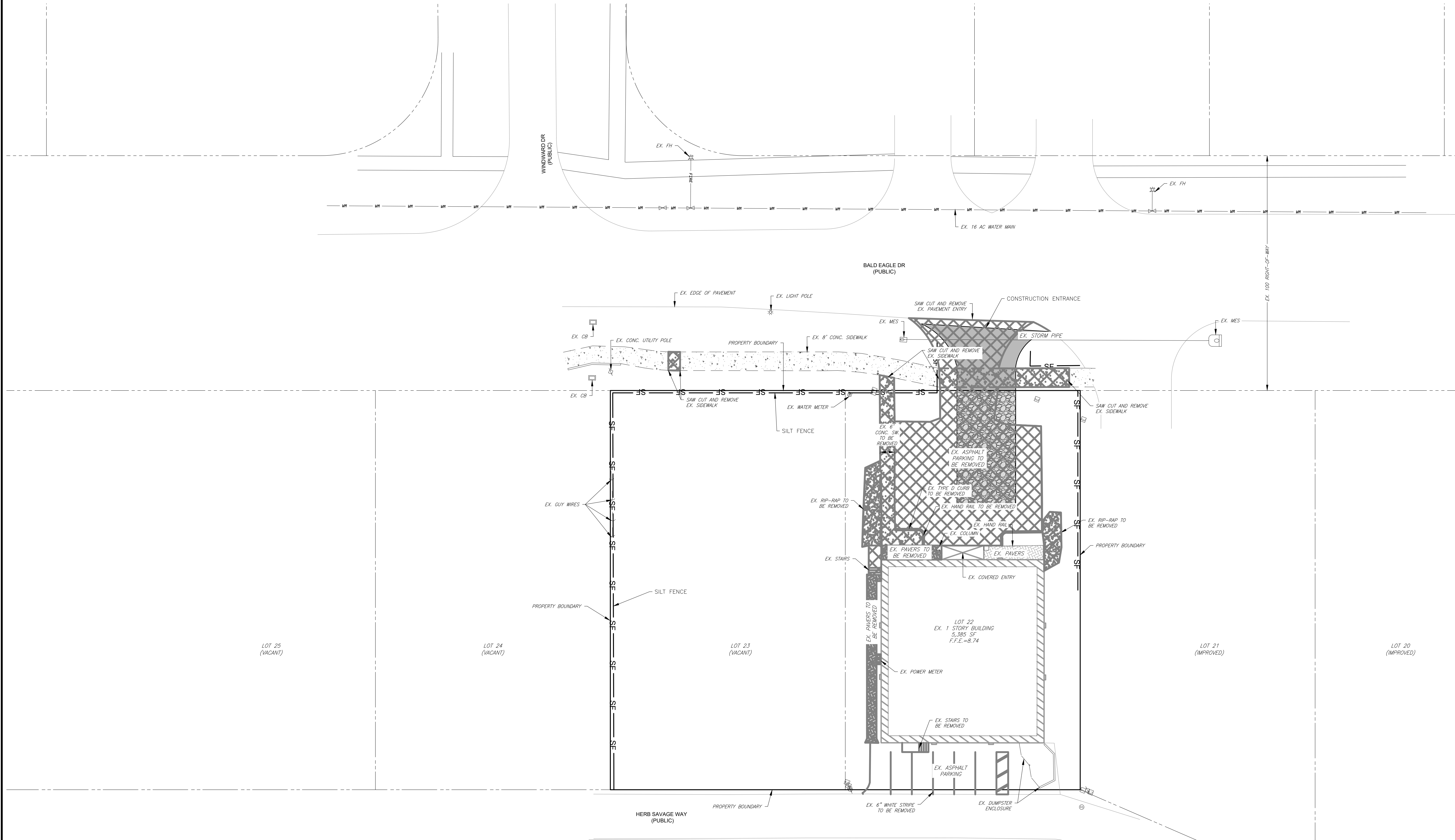
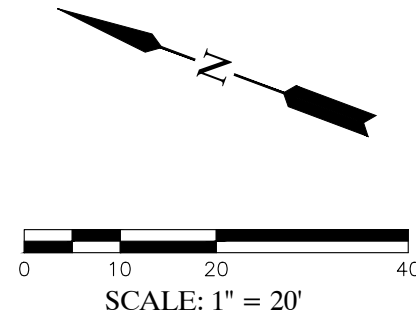
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PREPARED FOR: UNITED CHURCH OF MARCO ISLAND 750 BALD EAGLE DR., MARCO ISLAND, FL 34145															
PROJECT NAME: BARGAIN BASKET MARCO ISLAND															
SHEET TITLE: GENERAL NOTES															
<div style="display: flex; justify-content: space-between; align-items: center;"> <div style="width: 20%;">  <p>RDA CONSULTING INCORPORATED</p> </div> <div style="width: 80%; text-align: center;"> <p>RDA CONSULTING ENGINEERS, LLC</p> <p>791 10TH STREET SOUTH, SUITE 302 NAPLES, FLORIDA 34102 PHONE: (239) 649-1551 FAX: (239) 649-7112 WWW.RDAFL.COM</p> </div> </div>															
ENGINEER'S STAMP <div style="display: flex; justify-content: space-between; align-items: center; padding: 10px;"> <div style="width: 45%; text-align: center;">  </div> <div style="width: 50%; padding-left: 20px;"> <p>MICHAEL J. DELATE, P.E. FL. LICENSE NO. 49442 COA #31149</p> <p><small>This item has been digitally signed and sealed by Michael J. Delate, P.E. on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic documents.</small></p> </div> </div>															
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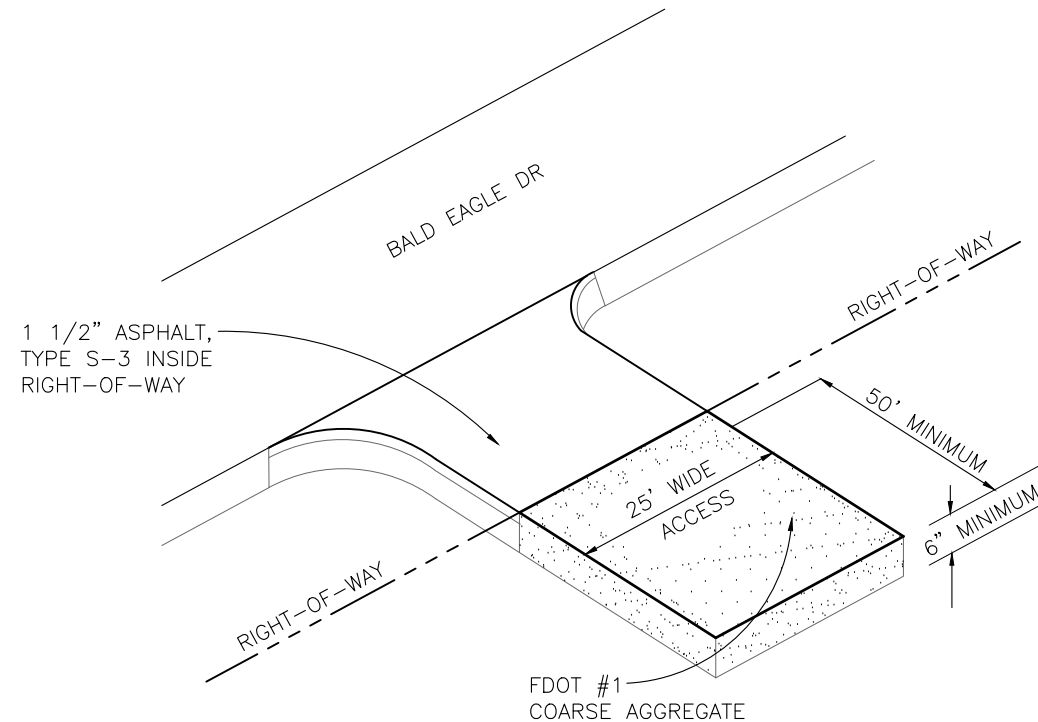
NO. BY DATE REVISION	
PREPARED FOR: UNITED CHURCH OF MARCO ISLAND 750 BALD EAGLE DR., MARCO ISLAND, FL 34145	
PROJECT NAME: BARGAIN BASKET MARCO ISLAND	
SHEET TITLE: AERIAL AND EXISTING CONDITIONS	
CONSULTANT: RDA CONSULTING ENGINEERS, LLC 791 10TH STREET SOUTH, SUITE 302 NAPLES, FLORIDA 34102 PHONE: (239) 649-1551 FAX: (239) 649-7112 WWW.RDAFL.COM	
ENGINEER'S STAMP 	MICHAEL J. DELATE, P.E. FL. LICENSE NO. 49442 COA #31149 This item has been digitally signed and sealed by Michael J. Delate, P.E. on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic documents.
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DESIGNED BY: B.B.	DRAWN BY: M.A.
CHECKED BY: M.J.D.	DATE: MARCH 2025
PROJECT NO: RDA250152	
SHEET: 3 of 8	



NO. BY DATE REVISION	
PREPARED FOR: UNITED CHURCH OF MARCO ISLAND 750 BALD EAGLE DR., MARCO ISLAND, FL 34145	
PROJECT NAME: BARGAIN BASKET MARCO ISLAND	
SHEET TITLE: GRADING, PACING AND DRAINAGE PLAN	
CONSULTANT: RDA CONSULTING ENGINEERS, LLC 791 10TH STREET SOUTH, SUITE 302 NAPLES, FLORIDA 34102 PHONE: (239) 649-1551 FAX: (239) 649-7112 WWW.RDAFL.COM	
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DESIGNED BY: B.B.	DRAWN BY: M.A.
CHECKED BY: M.J.D.	DATE: MARCH 2025
PROJECT NO: RDA250152	
SHEET: 5 of 8	



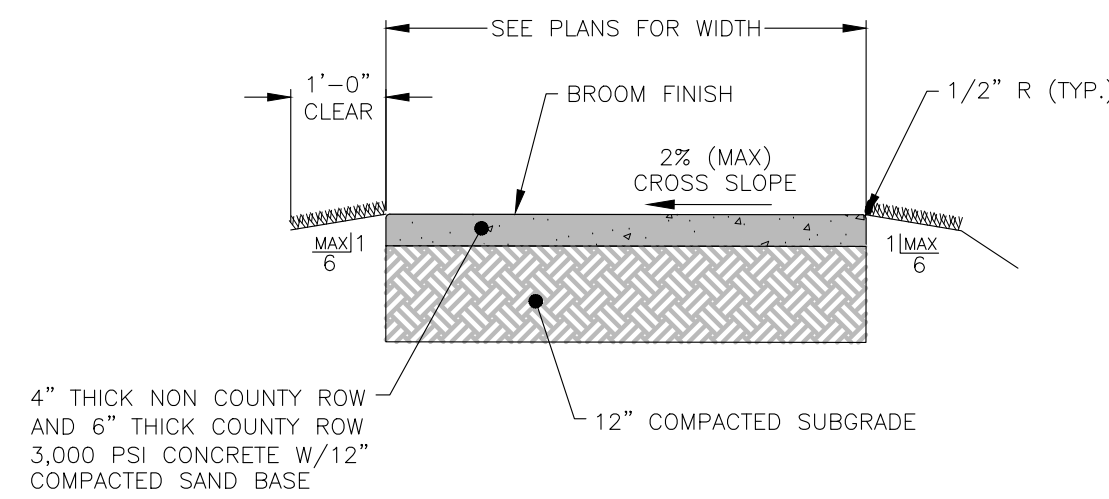
TYPICAL SILT FENCE DETAIL
N.T.S.



GRAVEL OR PAVED CONSTRUCTION ENTRANCE DETAIL
(RUBBLE STRIP)
N.T.S.

NO. BY DATE REVISION	
PREPARED FOR: UNITED CHURCH OF MARCO ISLAND 750 BALD EAGLE DR, MARCO ISLAND, FL 34145	
PROJECT NAME: BARGAIN BASKET MARCO ISLAND	
SHEET TITLE: EROSION CONTROL AND DEMOLITION PLAN	
CONSULTANT: RDA CONSULTING ENGINEERS, LLC 791 10TH STREET SOUTH, SUITE 302 NAPLES, FLORIDA 34102 PHONE: (239) 649-1551 FAX: (239) 649-7112 WWW.RDAFL.COM	
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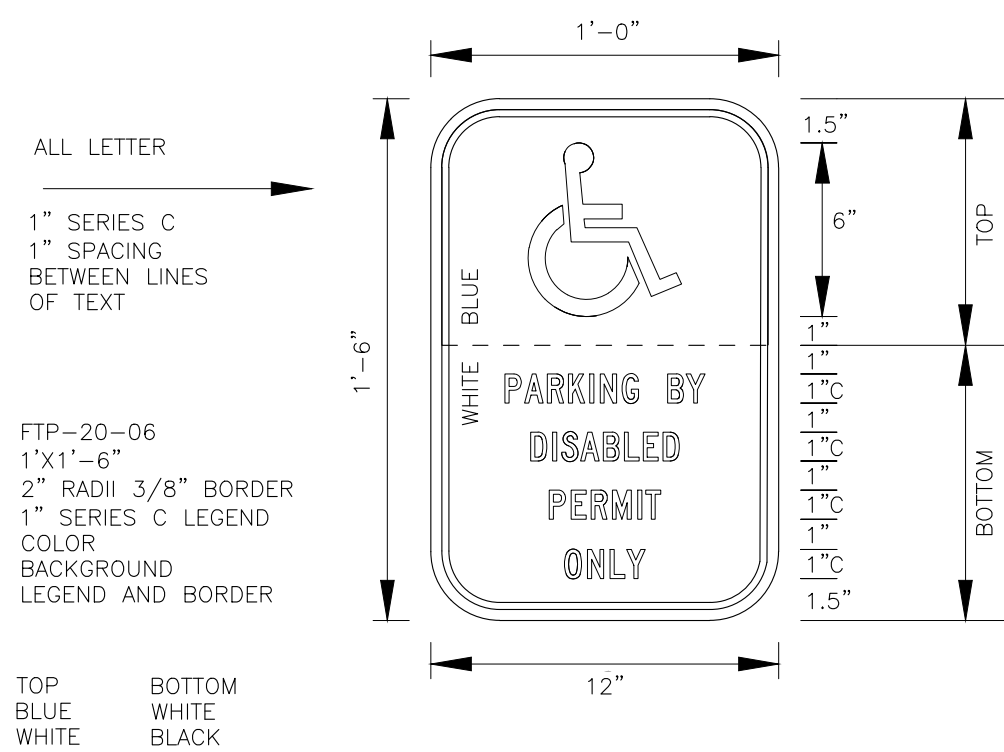
PLAN VIEW



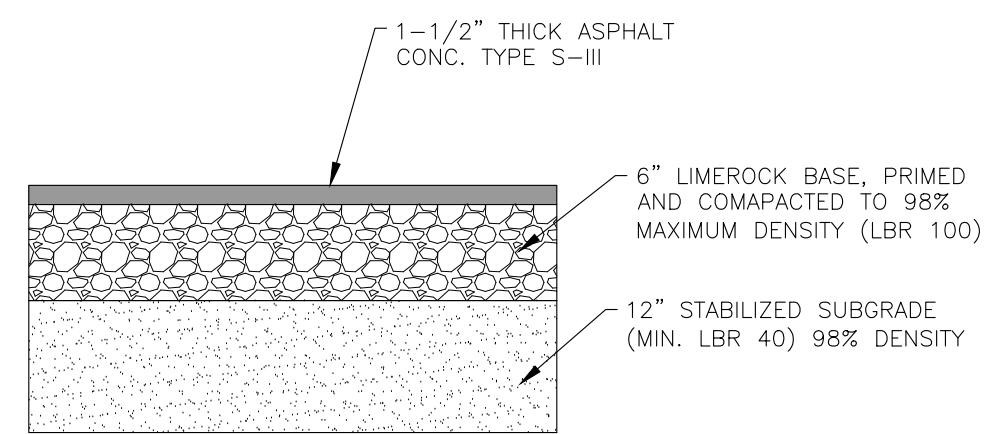
NOTES:

1. THE PROPOSED FILL SHALL BE COMPACTED IN 12" LIFTS TO 95% MAXIMUM DENSITY IN ACCORDANCE WITH AASHTO T-180 AND THE ENGINEER'S SPECIFICATIONS.
2. SUBGRADE FOR THE CONCRETE SIDEWALK SHALL BE 12" THICK SAND, COMPACTED TO A FIRM EVEN SURFACE, TRUE TO GRADE AND CROSS-SECTION, AND BE MOIST WHEN CONCRETE IS PLACE.
3. SIDEWALK SHALL HAVE CONTRACTION JOINTS AT 5' INTERVALS AND AN EXPANSION JOINT EVERY 120' MAXIMUM.
4. A CLEAR 1' WIDE GRADE AREA WITH A MAXIMUM 1:6 SLOPE SHOULD BE PROVIDED ADJACENT TO THE SIDEWALK IN GRASS OR LANDSCAPE AREAS.
5. IF A DROP-OFF GREATER THAN 10" THAT IS CLOSER THAN 2' FROM THE EDGE OF THE SIDEWALK OR A SLOPE STEEPER THAN 1:2 THAT BEGINS CLOSER THAN 2' FROM THE EDGE OF THE SIDEWALK, THEN THESE AREAS SHOULD BE CONSIDERED HAZARD AND SHIELDED WITH A RAILING, FENCE OR OTHER APPROVED BARRIER IN COMPLIANCE WITH FDM 222.4 LATEST EDITION.
6. SIDEWALKS SHALL HAVE TOOLED EDGES.
7. CONSTRUCTION JOINTS SHALL BE LOCATED AT STRUCK JOINTS OR EXPANSION JOINTS ONLY.
8. SIDEWALKS LOCATED WITHIN FDOT RIGHT OF WAY SHALL COMPLY WITH FDOT STD. PLANS INDEX #522-001 AND CORRESPONDING SPECIFICATIONS.

TYPICAL SIDEWALK SECTION
NTS

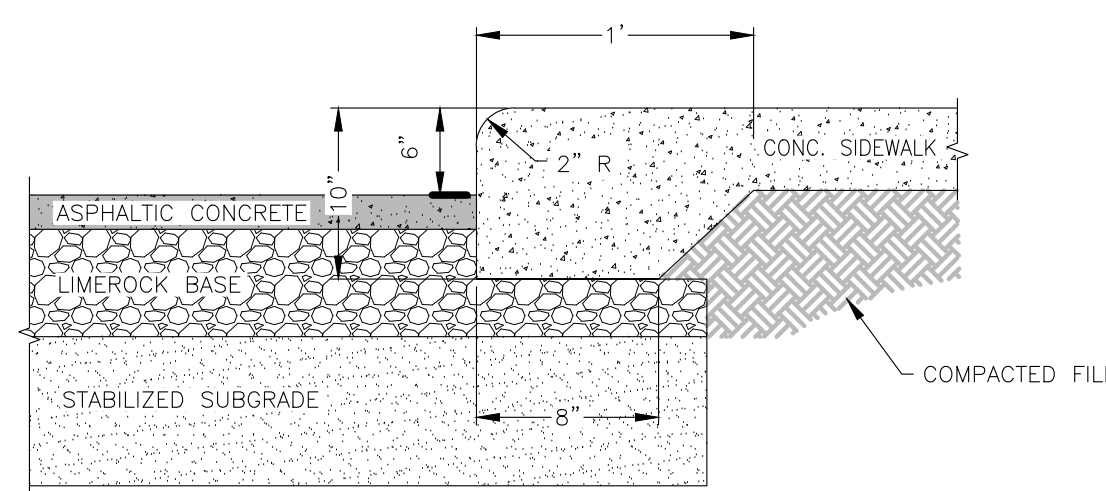


ACCESSIBLE SIGN DETAIL

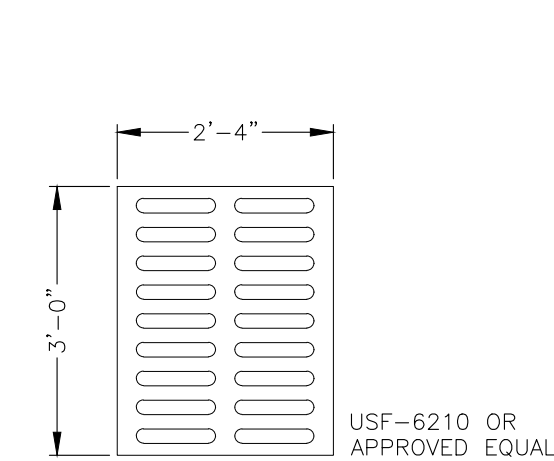


1. ASPHALTIC CONCRETE PAVEMENT (TYPE S-II) SHALL BE CONSTRUCTED AFTER SUBSTANTIAL COMPLETION OF BUILDING CONSTRUCTION.
2. 5-1/2" UMBERK BASE MATERIAL MAY BE SUBSTITUTED AS AN ALTERNATE DESIGN TO THE 12" STABILIZED SUBGRADE. ALL MODIFICATIONS FOR UMBERK BASE MATERIAL SHALL BE ADHERED TO.
3. ALTERNATE PAVEMENT SECTIONS UTILIZING MATERIALS INCLUDING PAVER BLOCKS AND BOWMANITE MAY BE SUBSTITUTED FOR THE ABOVE SYSTEMS. STRUCTURAL CHARACTERISTICS MUST MEET MINIMUM COLLIER COUNTY L.D.C. REQUIREMENTS.
4. UMBERK BASE MUST EXTEND 6" BEYOND EDGE OF PAVEMENT.
5. SUBGRADE MUST EXTEND 12" BEYOND EDGE OF PAVEMENT.

TYPICAL ASPHALT SECTION
NTS



ALTERNATE SECTION AT PAVEMENT/SIDEWALK INTERFACE

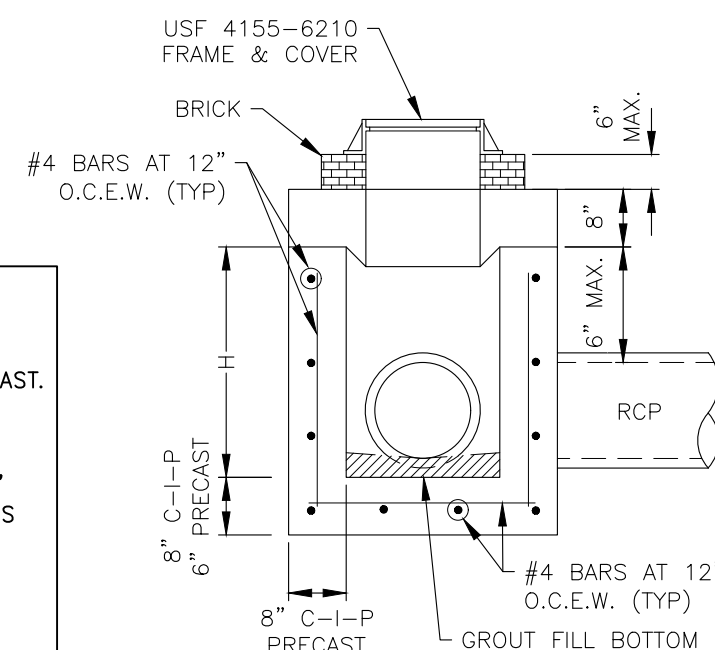


TYPE C CAST IRON GRATE

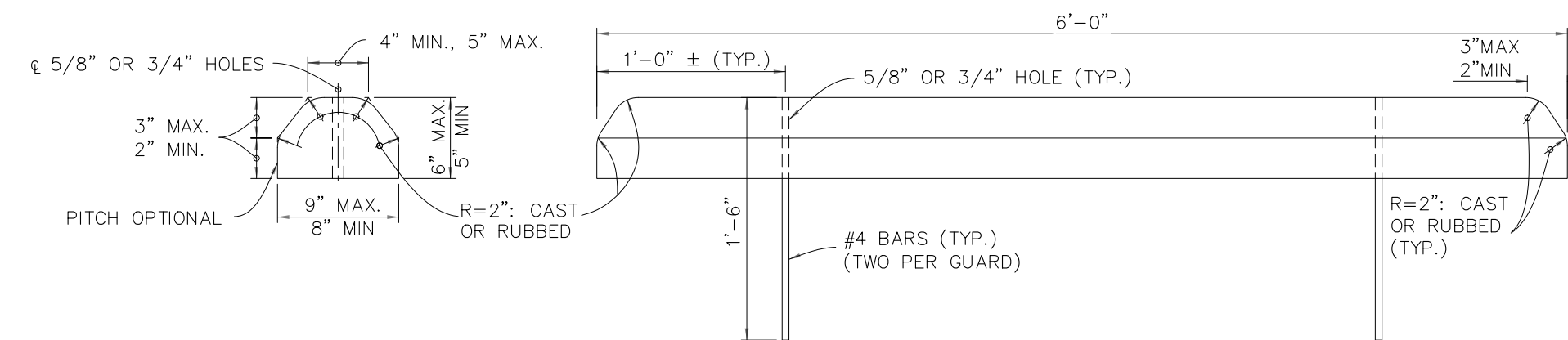
TYPE	C-I-P		PRECAST		H
	L	W	L	W	
C	4'-5"	3'-4"	4'-1"	3'-0"	VARIABLE
D	4'-5"	5'-5"	4'-1"	5'-1"	VARIABLE
E	5'-10"	4'-4"	5'-6"	4'-0"	VARIABLE

NOTES:

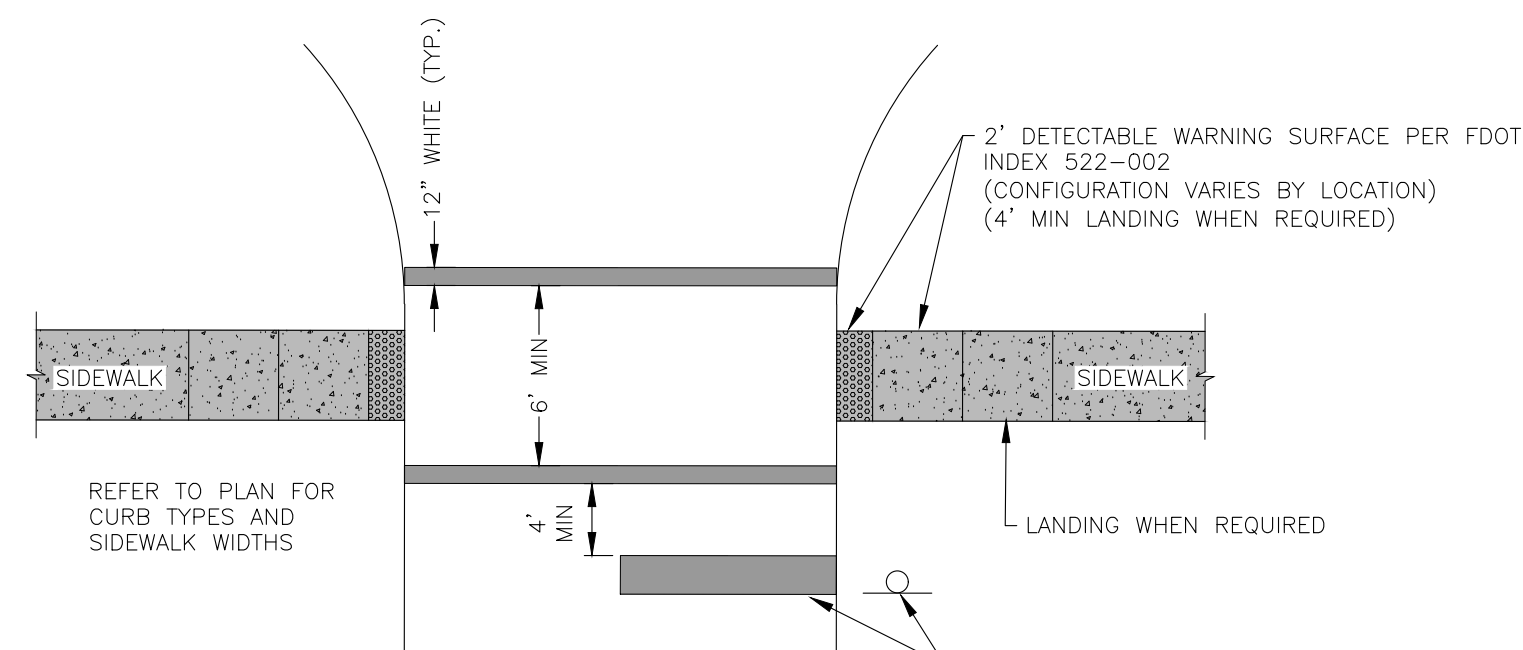
1. ALL CATCH BASINS TO BE POURED IN PLACE OR PRECAST.
2. ALL CONCRETE TO BE 4,000 PSI.
3. WHERE TO SLAB CONSTRUCTION IS NECESSARY, USE 8" THICK SLAB W/#5 BARS AT 4" ON CENTER CONTINUOUS INTO CATCH BASIN WALLS.
4. WHERE "H" DIMENSION EXCEEDS 5 FEET, STHOP
5. CATCH BASINS TO BE CONSTRUCTED PER FDOT STANDARDS.



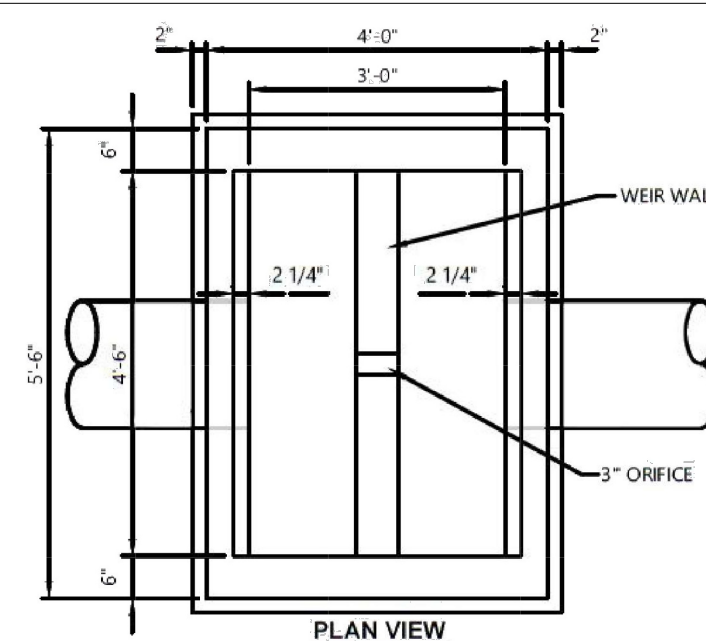
SECTION VIEW



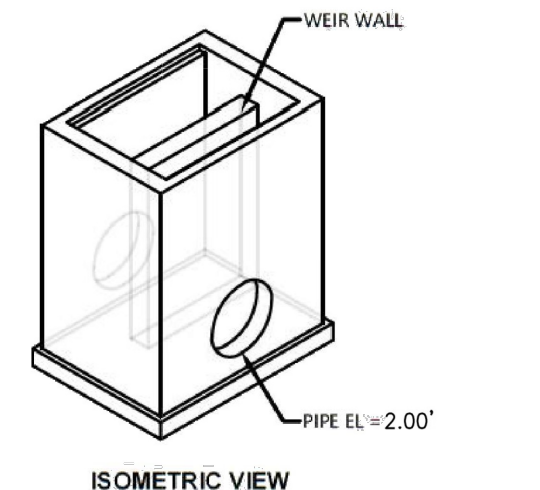
CONCRETE BUMPER GUARD
NTS



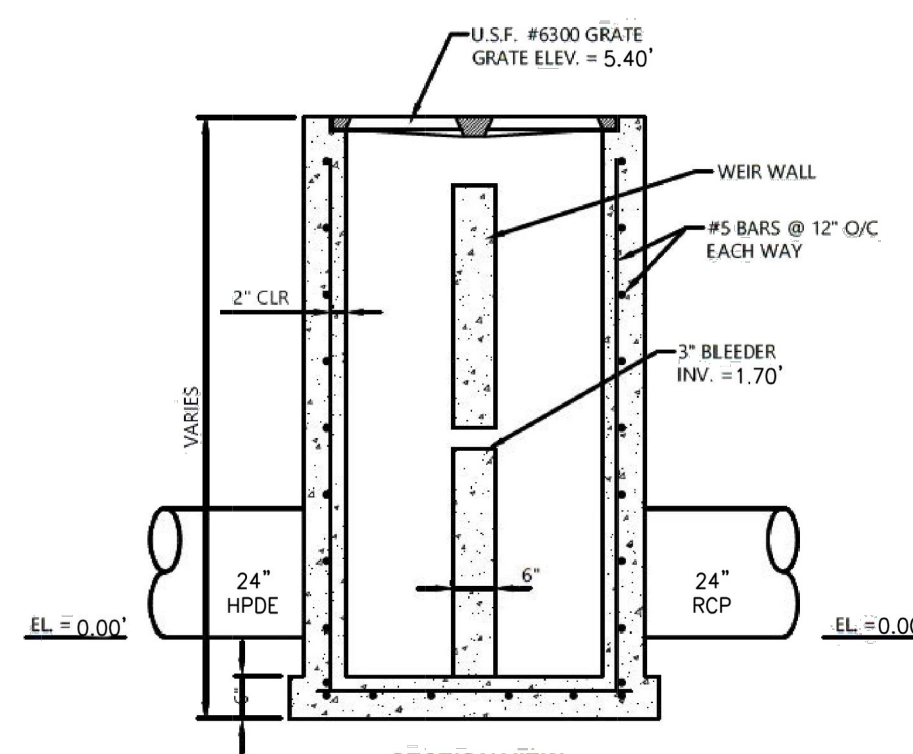
CROSS WALK DETAIL
(PER FDOT INDEX 711-001)
NTS



PLAN VIEW

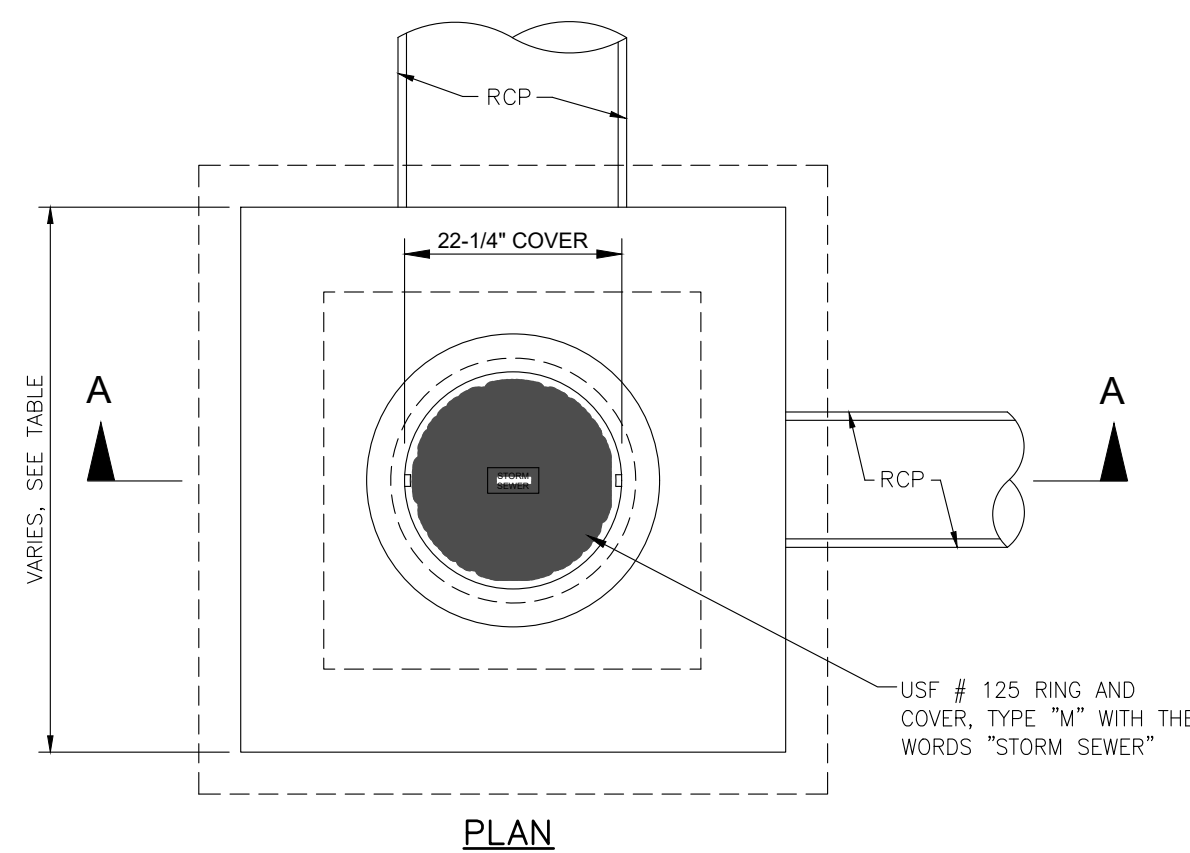


ISOMETRIC VIEW

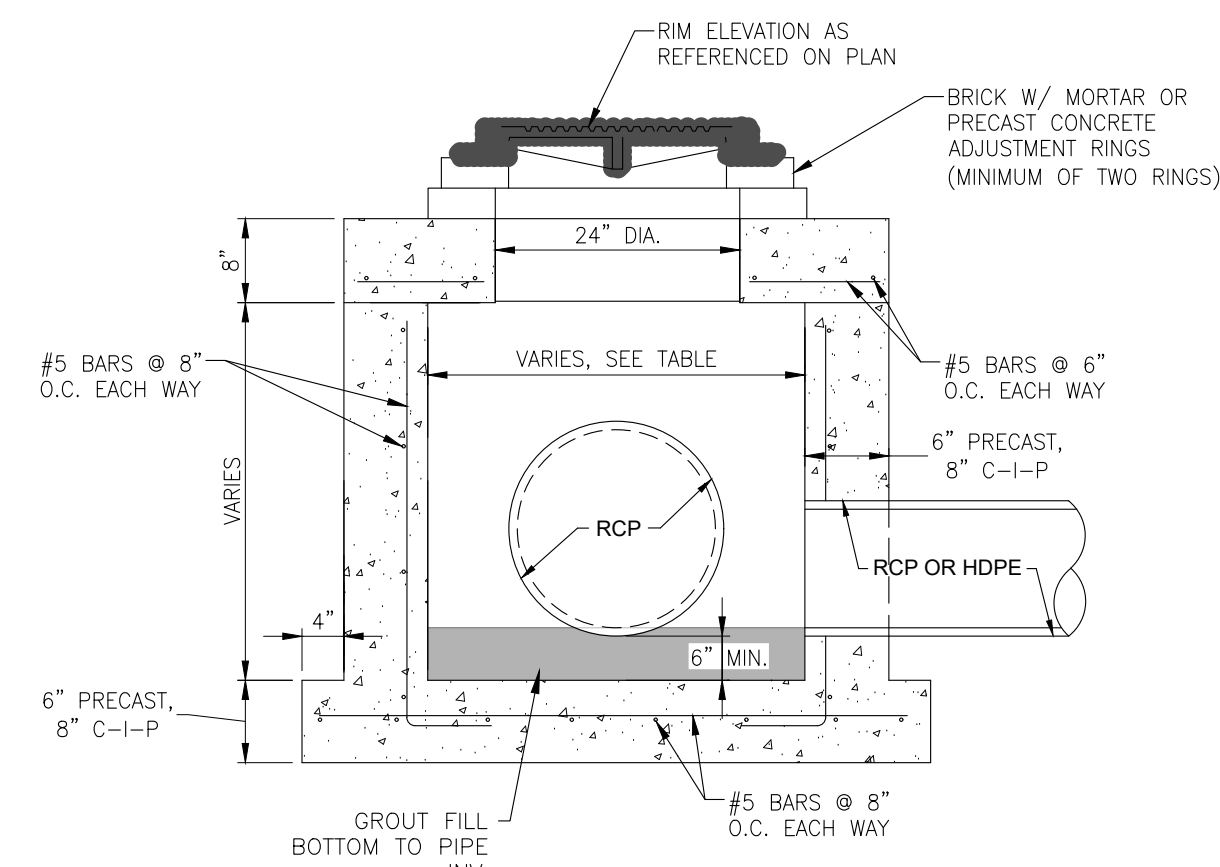


SECTION VIEW

CONTROL STRUCTURE DETAIL



PLAN

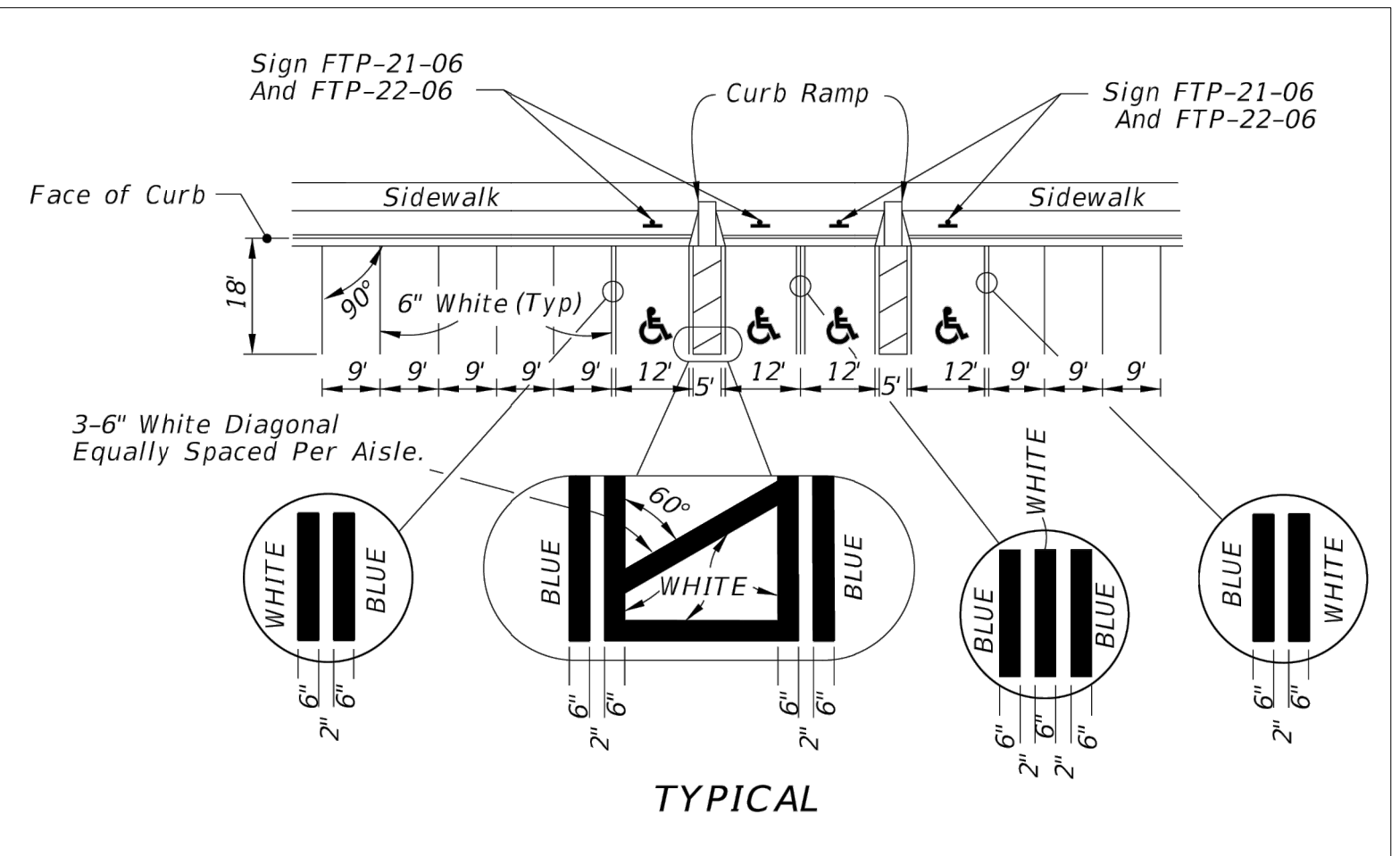


JUNCTION BOX DIMENSIONS		
TYPE	L	W
JB-C	4'-1"	3'-0"
JB-E	5'-6"	4'-0"
JB-4x4	5'-0"	5'-0"

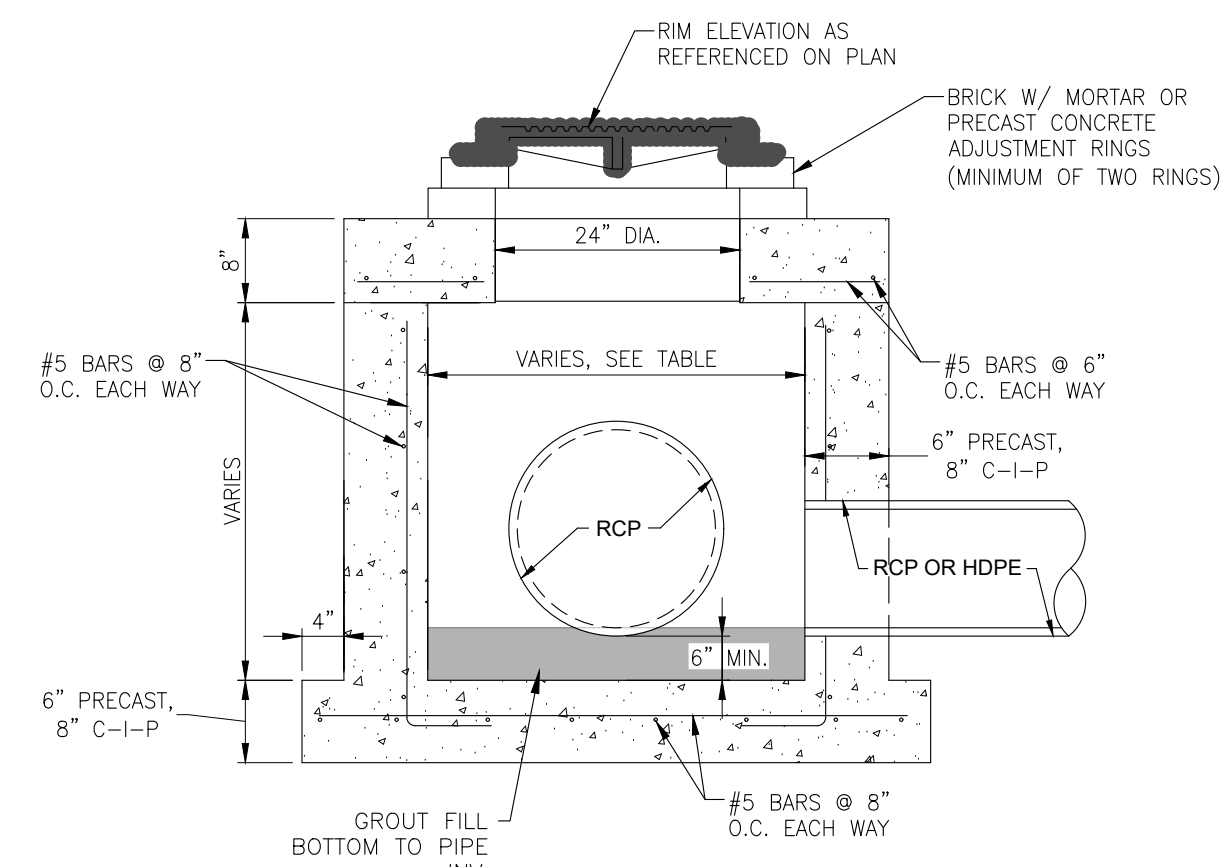
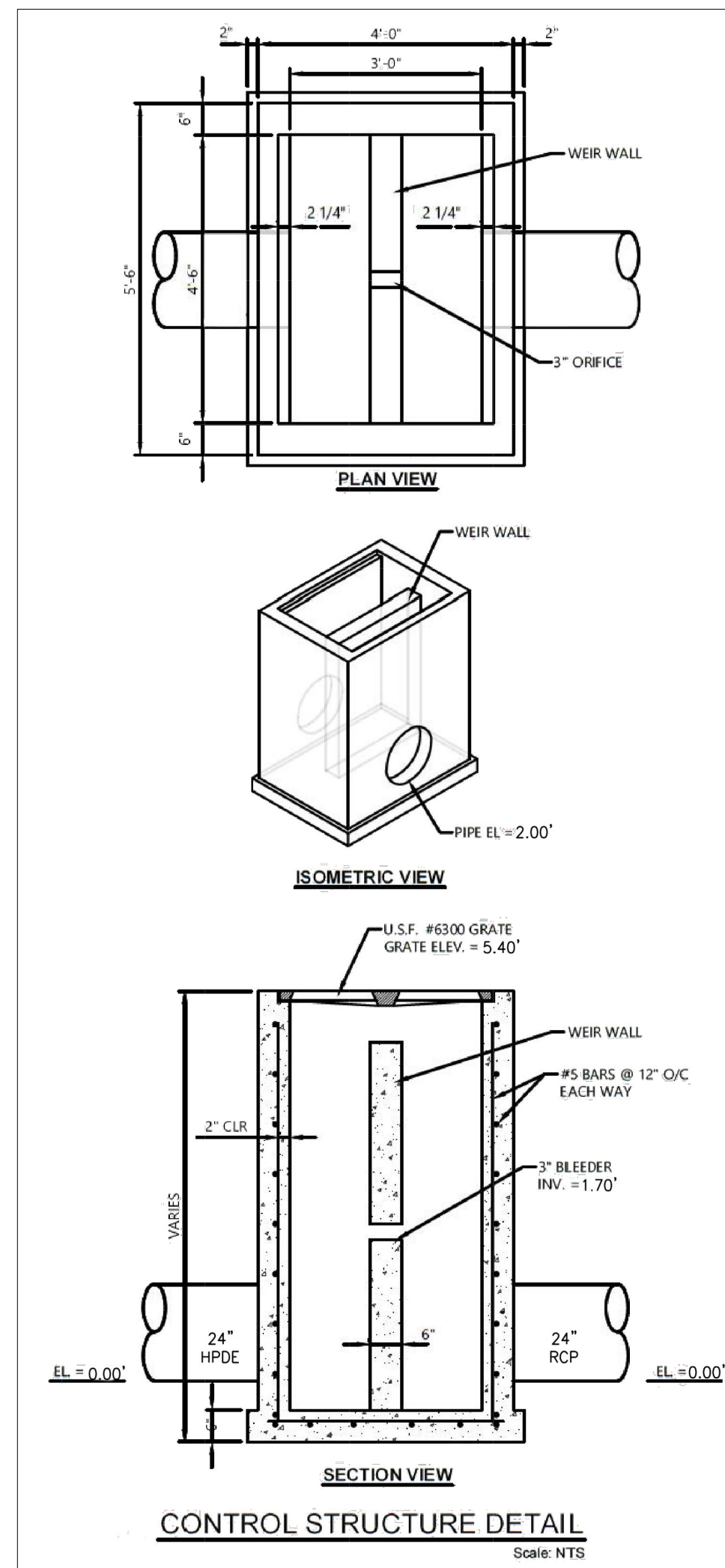
- NOTES:**
1. ALL REINFORCING STEEL SHALL HAVE TWO INCHES (2") MINIMUM COVER
 2. ALL CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF 3,000 PSI @ 28 DAYS
 3. REFER TO "MINIMUM DIMENSIONS FOR DRAINAGE STRUCTURES" TABLE

SECTION A-A

JUNCTION BOX DETAIL



TYPICAL PARKING SPACES DETAIL
NTS



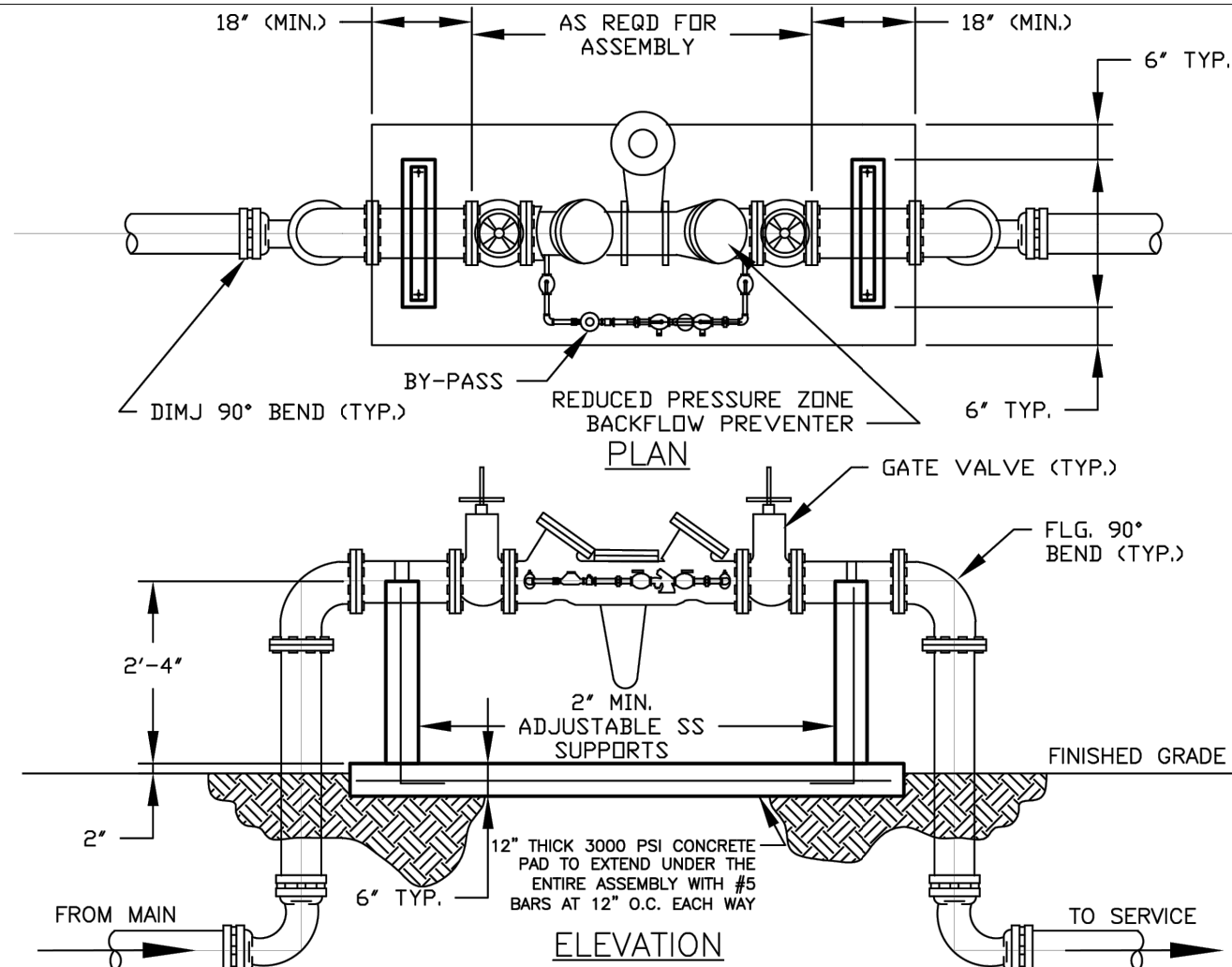
JUNCTION BOX DIMENSIONS		
TYPE	L	W
JB-C	4'-1"	3'-0"
JB-E	5'-6"	4'-0"
JB-4x4	5'-0"	5'-0"

- NOTES:**
1. ALL REINFORCING STEEL SHALL HAVE TWO INCHES (2") MINIMUM COVER
 2. ALL CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF 3,000 PSI @ 28 DAYS
 3. REFER TO "MINIMUM DIMENSIONS FOR DRAINAGE STRUCTURES" TABLE

SECTION A-A

JUNCTION BOX DETAIL

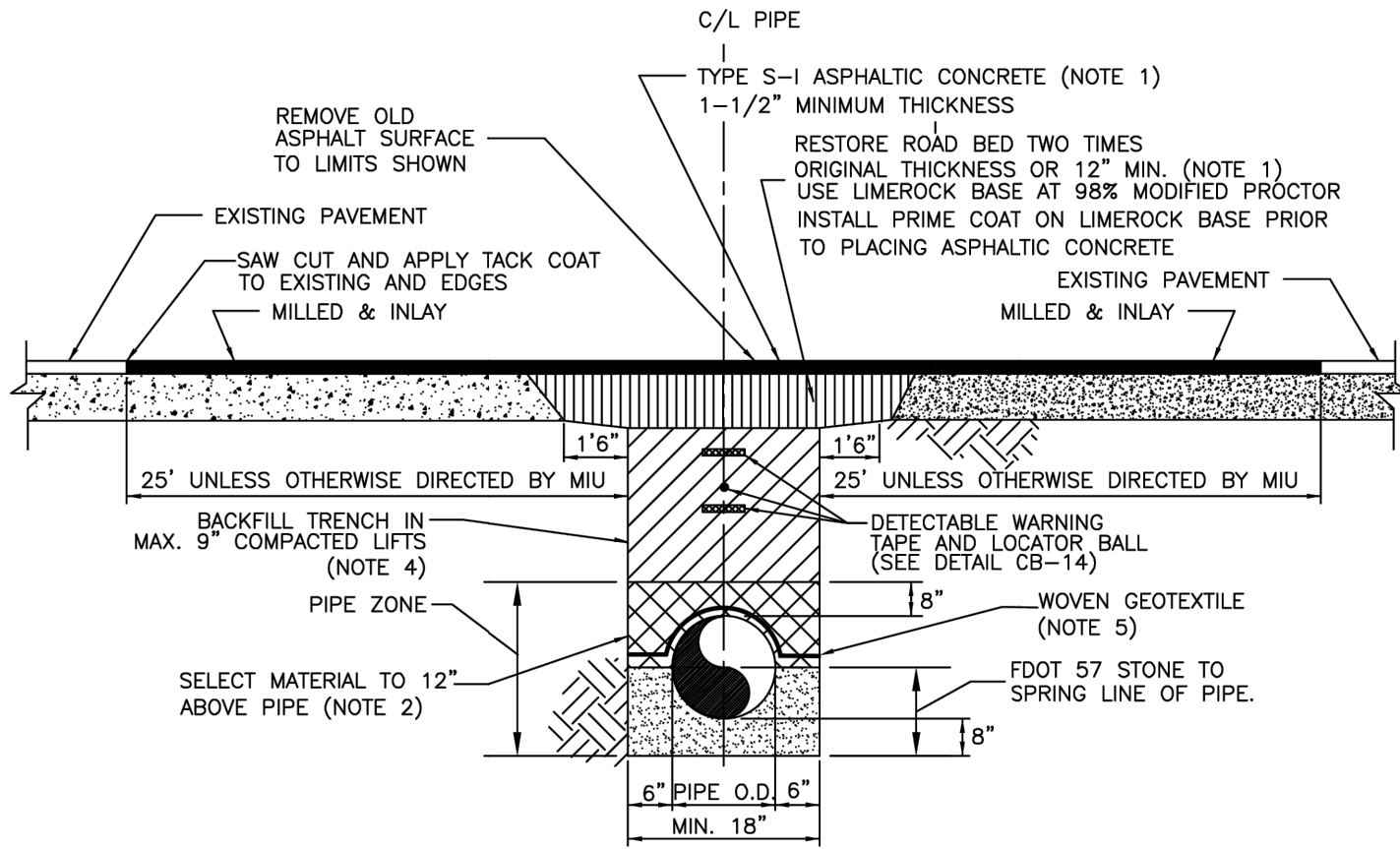
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- NOTE:**
1. ALL ABOVE GRADE GATE VALVES SHALL BE RESILIENT SEAT, HAND WHEEL, OUTSIDE STEM & YOKE (OS&Y) TYPE, SEE APPROVED PRODUCT LIST.
 2. ALL ABOVE GRADE PIPING 3 INCHES IN DIA. & LARGER SHALL BE DUCTILE IRON WITH FLANGED ENDS, CLASS 53. ALL BELOW GRADE PIPING SHALL BE DIMJ W/ RESTRAINING TYPE DEVICES, MEGA-LUG OR APPROVED EQUAL.
 3. BY-PASS LINE SHALL CONSIST OF A TOTALIZING NEPTUNERADIO ONLY METER (REGISTERING IN GALLONS) AND REDUCED PRESSURE ZONE BACKFLOW ASSEMBLY. METER & PIPING SHALL BE BRASS AND BYPASS VALVES MUST HAVE A LOCKING MECHANISM.
 4. DEPENDING ON LOCATION, A FENCE MAY BE REQUIRED AROUND ASSEMBLY FOR SAFETY.
 5. FIRE MAIN SHALL BE IN ADDITION TO CUSTOMER SERVICE/SUPPLY MAIN.
 6. OWNER SHALL TEST ASSEMBLY AND SUBMIT TEST REPORTS TO MIU ANNUALLY.
 7. SUPPORTS TO BE 2" MIN., 316 SS, ADJUSTABLE, ATTACHED TO PAD WITH 316 SS ANCHOR BOLTS.
 8. NO. 1 VALVE ON MAIN LINE TO BE CHAIN LOCKED IN OPEN POSITION THROUGH YOKE AND HANDWHEEL. NO. 1 VALVE ON BYPASS TO BE CHAIN LOCKED IN CLOSED POSITION THROUGH YOKE AND HANDWHEEL. LOCKS TO BE FURNISHED BY MIU.
 9. ENTIRE APPARATUS TO BE PAINTED WITH RED UV RATED PAINT. (EXCEPT METER).
 10. ALL BRASS FITTINGS TO BE LEAD FREE OR NO LEAD. SEE APPROVED PRODUCT LIST. ALL COMPONENTS THAT COME INTO CONTACT WITH DRINKING WATER SHALL CONFORM TO NSF STANDARD 61.

BF-4 DEDICATED FIRE FLOW BACKFLOW ASSEMBLY
NOT TO SCALE

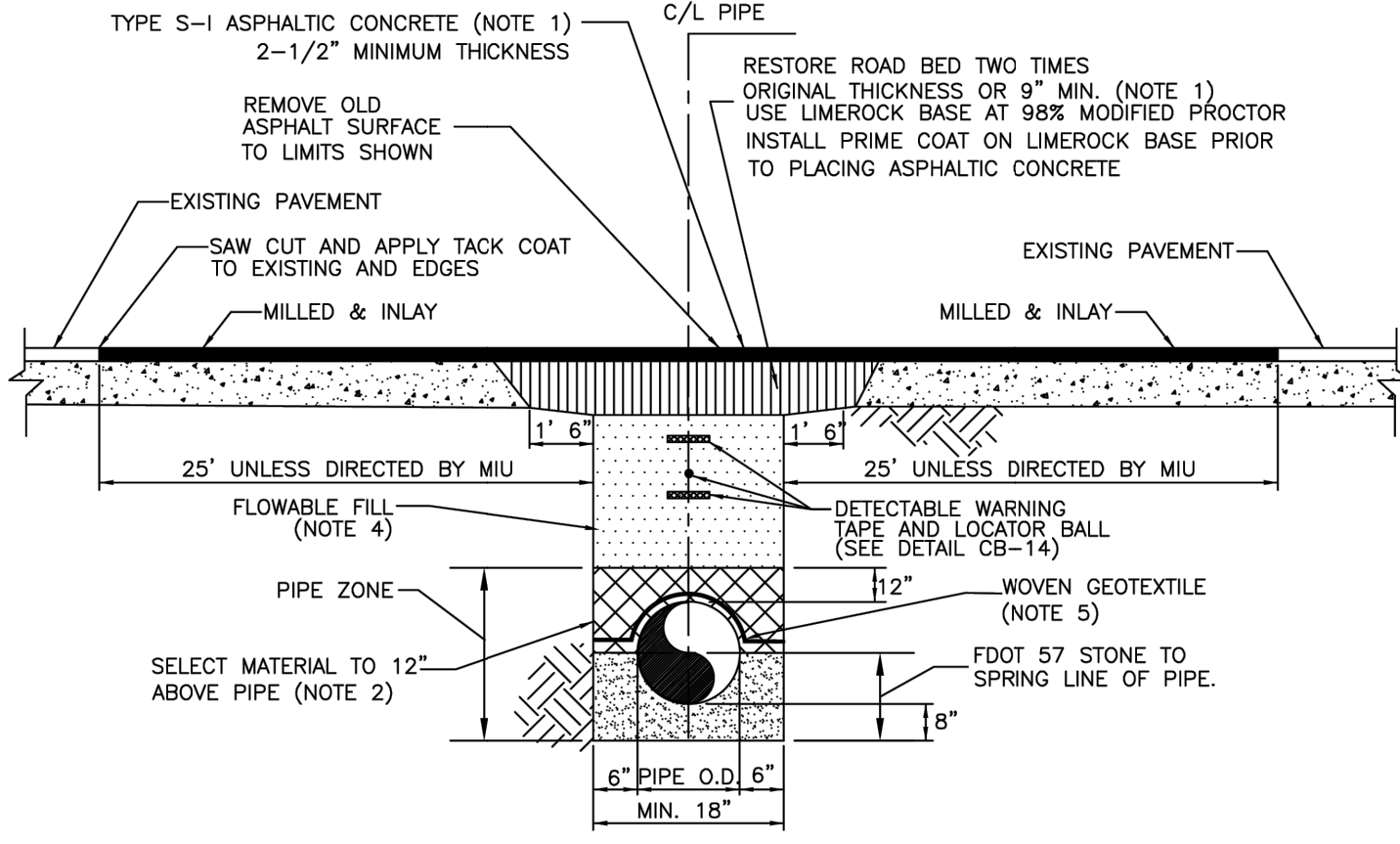
MARCO ISLAND UTILITIES
960 N. COLLIER BLVD.
MARCO ISLAND, FL 34145
SCALE: NOT TO SCALE
DATE: MAY 2023
DWG #: BF-4.DWG



- NOTES:**
1. IN LIEU OF LIMEROCK FOR TRENCH BASE RESTORATION, ONE OF THE FOLLOWING TWO OPTIONS MAY BE SELECTED, WITH PRIOR MIU APPROVAL: (1) PROVIDE 12 INCHES MINIMUM THICKNESS OF EXCAVATABLE FLOWABLE FILL PER FDOT SPECIFICATIONS OR (2) PROVIDE 6 INCHES MINIMUM OF TYPE ABC-3, BASE COURSE ASPHALT CONCRETE, PER FDOT SPECIFICATIONS. SELECT ONE OF THE THREE OPTIONS FOR USE THROUGHOUT THE ENTIRE PROJECT.
 2. BACKFILL ABOVE THE SPRING LINE OF THE PIPE SHALL BE GRANULAR SELECT MATERIAL. SELECT MATERIAL IN THIS AREA MAY BE NATIVE MATERIAL AS LONG AS THE MATERIAL WILL PASS THROUGH A 3/8-INCH SIEVE, AND BE FREE OF ROCKS, CLAY AND ORGANIC MATERIAL.
 3. IN UNPAVED AREAS, CONSTRUCT BACKFILL TO BOTTOM OF SOD. INSTALL SOD IN AREAS DISTURBED BY CONSTRUCTION. MATCH EXISTING GRADE.
 4. MATERIAL ABOVE THE PIPE ZONE TO THE BOTTOM OF THE PAVEMENT ZONE SHALL BE SELECT BACKFILL CONSISTING OF NATIVE MATERIAL FREE OF ROCKS, CLAY AND ORGANIC MATERIAL. MATERIAL SHALL PASS THROUGH A 3/8-INCH SIEVE. MILLED ASPHALT AND ROAD BASE MATERIAL THAT PASSES A 2-INCH SIEVE MAY BE BLENDED WITH THE SELECT BACKFILL AND USED IN THIS TRENCH ZONE. BACKFILL SHALL BE COMPACTED TO A MINIMUM OF 98% MODIFIED PROCTOR DENSITY WITH A MINIMUM OF ONE TEST PERFORMED PER LIFT.
 5. INSTALL GEOTEXTILE ALONG ENTIRE LENGTH AND WIDTH OF TRENCH, MIRAFI FW402 OR PRE-APPROVED EQUAL.
 6. ALL ROADWAY RESTORATION ON CITY OF MARCO ISLAND ROADWAYS SHALL BE PERMITTED BY MARCO ISLAND. THOSE IN STATE RIGHT-OF-WAY SHALL BE PERMITTED BY FDOT.

CB-15 TRENCH AND PAVING RESTORATION
NOT TO SCALE

MARCO ISLAND UTILITIES
960 North Collier Blvd.
MARCO ISLAND, FL 34145
SCALE: NOT TO SCALE
DATE: MAY 2023
DWG #: CB-15.DWG

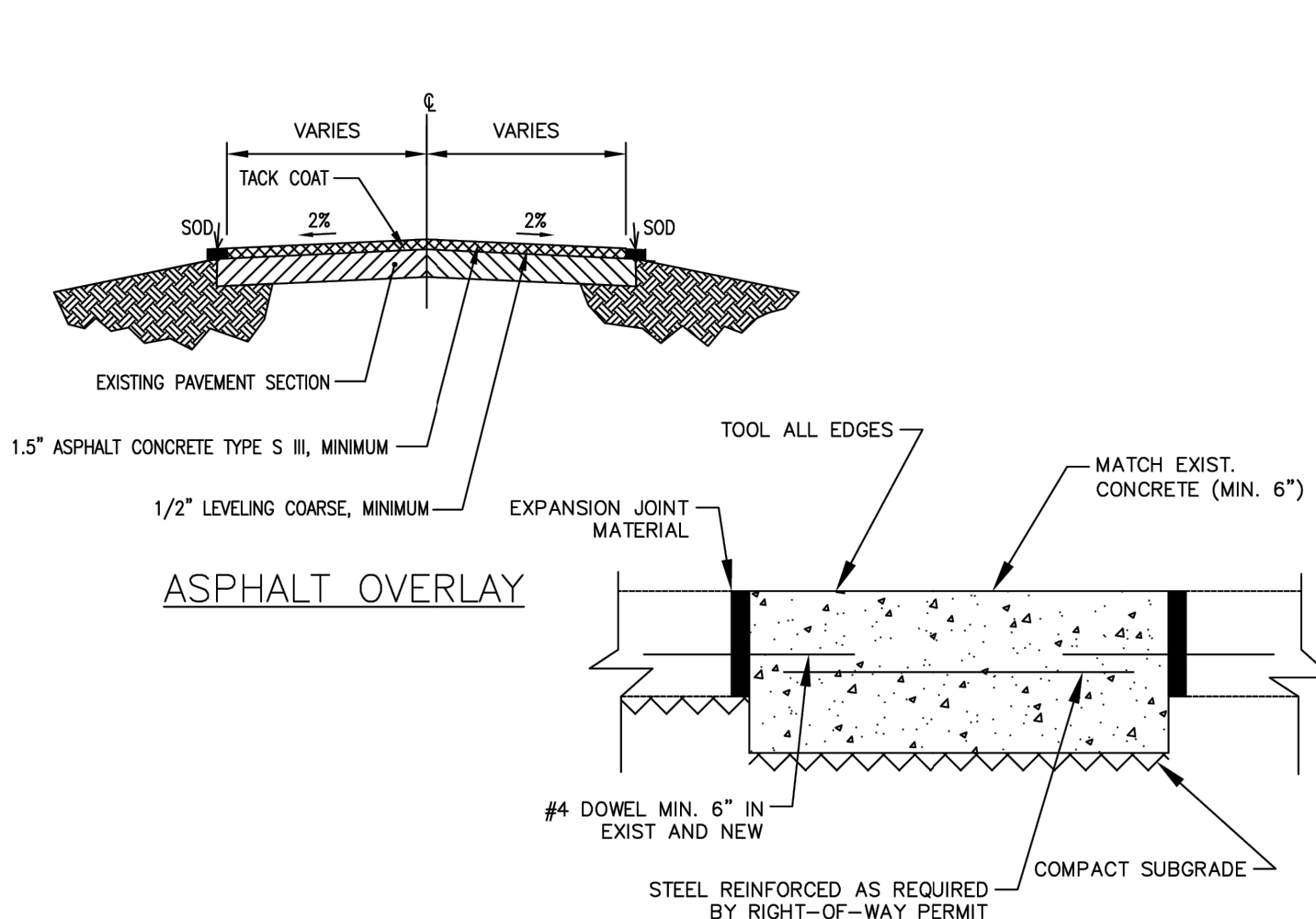


- NOTES:**
1. IN LIEU OF LIMEROCK FOR TRENCH BASE RESTORATION, ONE OF THE FOLLOWING TWO OPTIONS MAY BE SELECTED: (1) PROVIDE 12 INCHES MINIMUM THICKNESS OF EXCAVATABLE FLOWABLE FILL PER FDOT SPECIFICATIONS OR (2) PROVIDE 6 INCHES MINIMUM OF TYPE ABC-3, BASE COURSE ASPHALT CONCRETE, PER FDOT SPECIFICATIONS. SELECT ONE OF THE THREE OPTIONS FOR USE THROUGHOUT THE ENTIRE PROJECT.
 2. BACKFILL ABOVE THE SPRING LINE OF THE PIPE SHALL BE GRANULAR SELECT MATERIAL. SELECT MATERIAL IN THIS AREA MAY BE NATIVE MATERIAL AS LONG AS THE MATERIAL WILL PASS THROUGH A 3/8-INCH SIEVE, AND BE FREE OF ROCKS, CLAY AND ORGANIC MATERIAL. BACKFILL SHALL BE COMPACTED TO A MINIMUM OF 98% MODIFIED PROCTOR DENSITY WITH A MINIMUM OF ONE TEST PERFORMED PER LIFT.
 3. IN UNPAVED AREAS, CONSTRUCT BACKFILL TO BOTTOM OF SOD. INSTALL SOD IN AREAS DISTURBED BY CONSTRUCTION. MATCH EXISTING GRADE.
 4. MATERIAL ABOVE THE PIPE ZONE TO THE BOTTOM OF THE PAVEMENT ZONE SHALL BE EXCAVATABLE FLOWABLE FILL PER FDOT SECTION 121.
 5. INSTALL GEOTEXTILE ALONG ENTIRE LENGTH AND WIDTH OF TRENCH, MIRAFI FW402 OR PRE-APPROVED EQUAL.
 6. ALL ROADWAY RESTORATION ON CITY OF MARCO ISLAND ROADWAYS SHALL BE PERMITTED BY MARCO ISLAND. THOSE IN STATE RIGHT-OF-WAY SHALL BE PERMITTED BY FDOT.

CB-17 TRENCH AND PAVING RESTORATION WITH FLOWABLE FILL
NOT TO SCALE

HIGH VOLUME ROADS
(FOR USE AS DIRECTED BY MI W&S DEPT.)

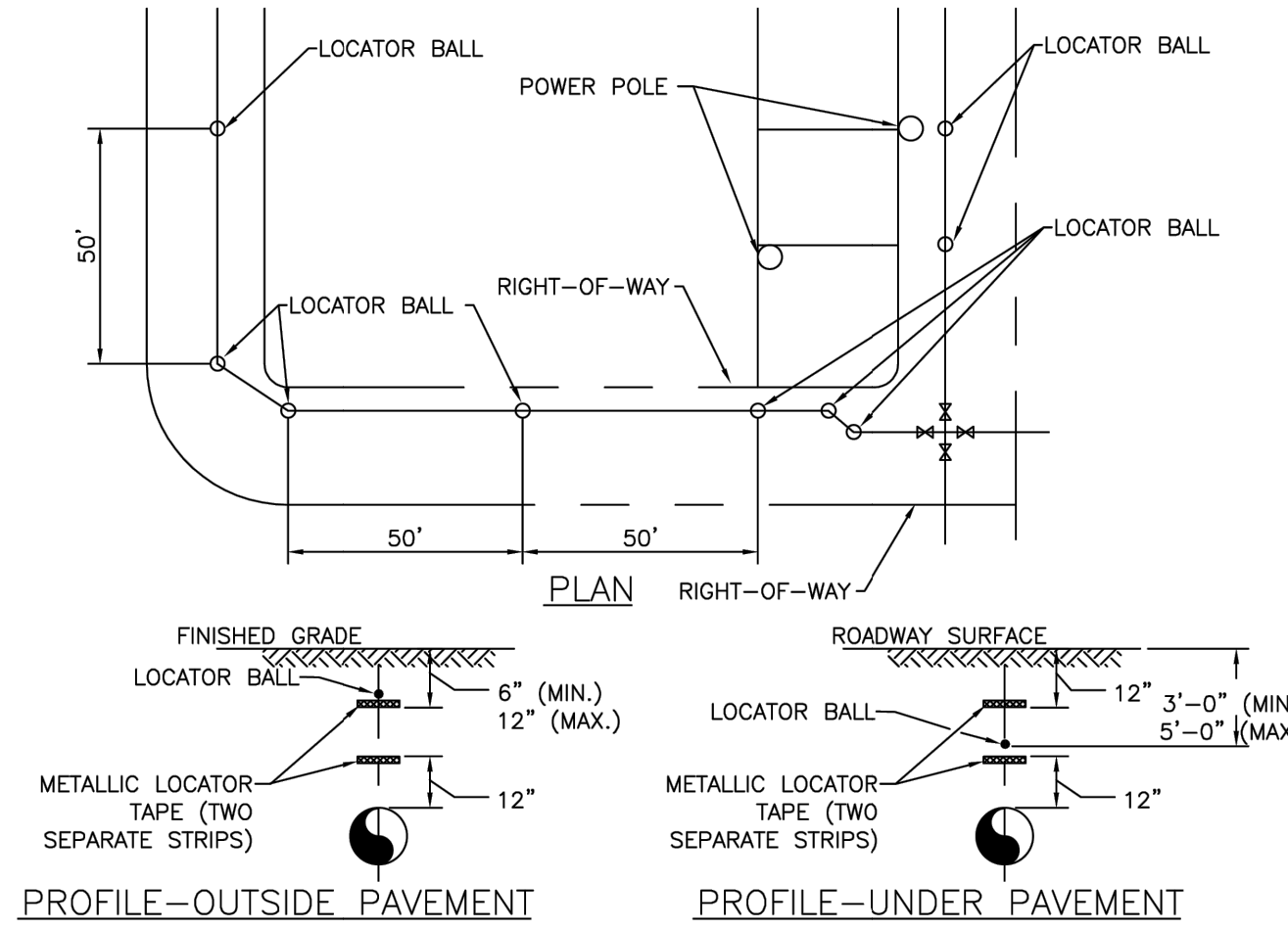
MARCO ISLAND UTILITIES
960 North Collier Blvd.
MARCO ISLAND, FL 34145
SCALE: NOT TO SCALE
DATE: MAY 2023
DWG #: CB-17.DWG



- NOTES:**
1. TOP OF SOD MUST MATCH EXISTING GRADE AND BE BELOW EDGE OF PAVEMENT.
 2. CONSTRUCT BACKFILL TO BOTTOM OF SOD. INSTALL SOD IN AREAS DISTURBED BY CONSTRUCTION.
 3. BACKFILL SHALL BE COMPACTED TO A MINIMUM OF 98% MODIFIED PROCTOR DENSITY WITH A MINIMUM OF ONE TEST PERFORMED PER LIFT.
 4. ALL ROADWAY RESTORATION ON CITY OF MARCO ISLAND ROADWAYS SHALL BE PERMITTED BY MARCO ISLAND. THOSE IN STATE RIGHT-OF-WAY SHALL BE PERMITTED BY FDOT.

CB-18 RIGHT-OF-WAY RESTORATION DETAILS
NOT TO SCALE

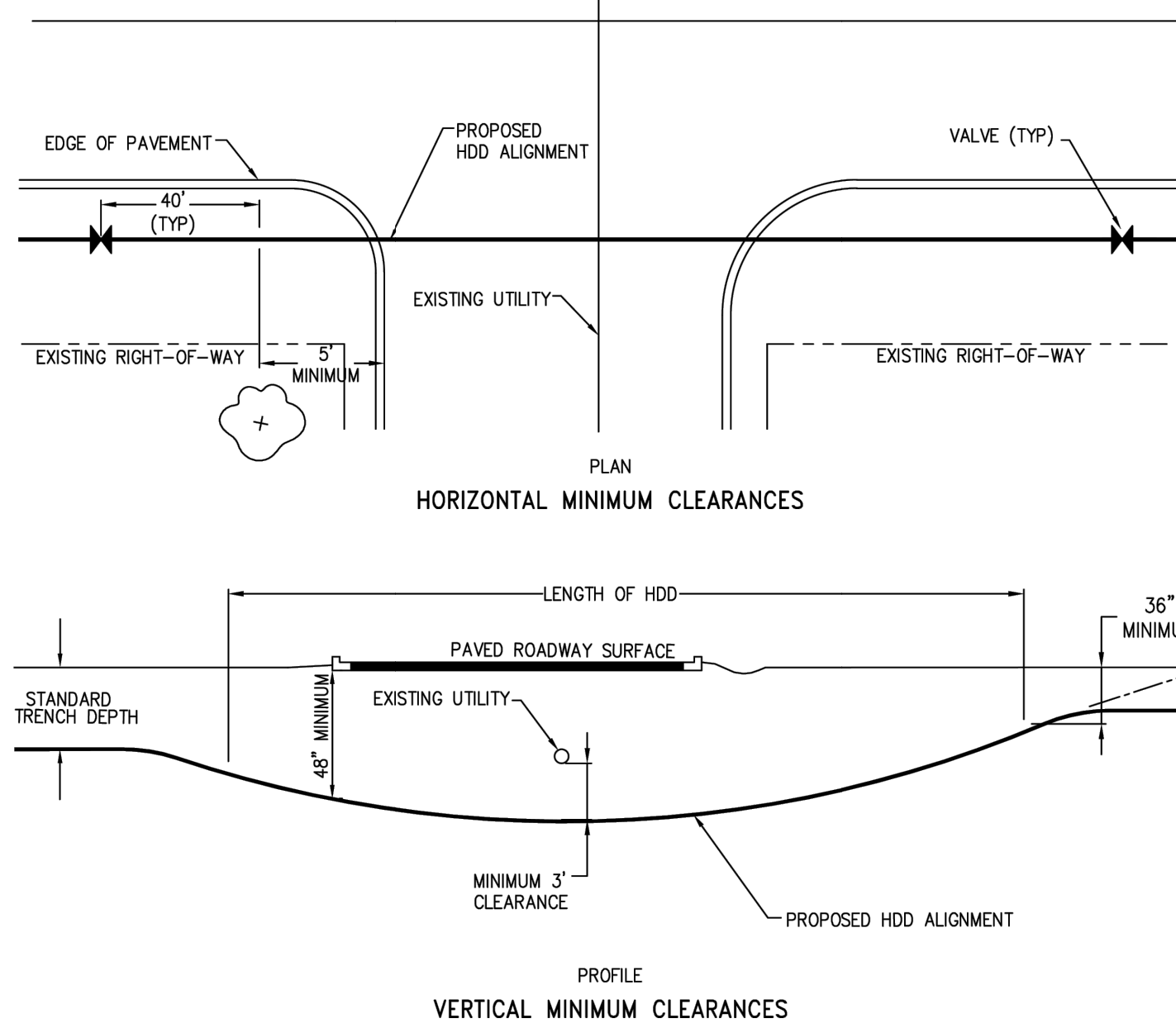
MARCO ISLAND UTILITIES
960 North Collier Blvd.
MARCO ISLAND, FL 34145
SCALE: NOT TO SCALE
DATE: MAY 2023
DWG #: CB-18.DWG



- NOTES:**
1. LOCATOR MARKERS ARE TO BE 4" BALL MARKER PER APPROVED PRODUCT LIST, BLUE FOR WATER, GREEN FOR WASTEWATER AND PURPLE FOR REUSE WATER.
 2. PRESSURE MAINS CROSSING ROAD: LOCATE BALLS TO BE PLACED NO MORE THEN 2'-0" FROM OUTSIDE EDGE OF PAVEMENT.
 3. MARKERS ARE TO BE INSTALLED AT ALL CHANGE OF DIRECTIONS AND FITTINGS ABSENT OF ANY VALVE. ON STRAIGHT RUNS, MARKERS ARE TO BE INSTALLED EVERY 50'.
 4. PROVIDE CONSTRUCTION RECORD DRAWINGS SHOWING THE LOCATION OF PRESSURE MAIN LOCATOR BALLS, AND NEAR SURFACE MARKERS, AND THE BAR CODE FOR EACH.
 5. METALLIC LOCATOR TAPE IS REQUIRED ABOVE GRAVITY SEWER MAINS. LOCATOR BALLS ARE NOT REQUIRED ABOVE GRAVITY SEWER MAINS, BUT IS REQUIRED FOR SEWER LATERALS. SMART PLUGS WITH LOCATOR REQUIRED FOR CLEANOUTS.
 6. NEAR SURFACE MARKERS SHALL BE INSTALLED AT ALL JACK & BORE AND HORIZONTAL DIRECTIONAL DRILL LOCATIONS. TO BE PLACED AT NO MORE THAN 2'-0" FROM OUTSIDE OF PAVEMENT AND AT ALL CHANGES IN DIRECTION AND 50' ON CENTER ON STRAIGHT RUNS.

CB-19 LOCATOR TAPE AND MARKERS FOR PRESSURE MAINS
NOT TO SCALE

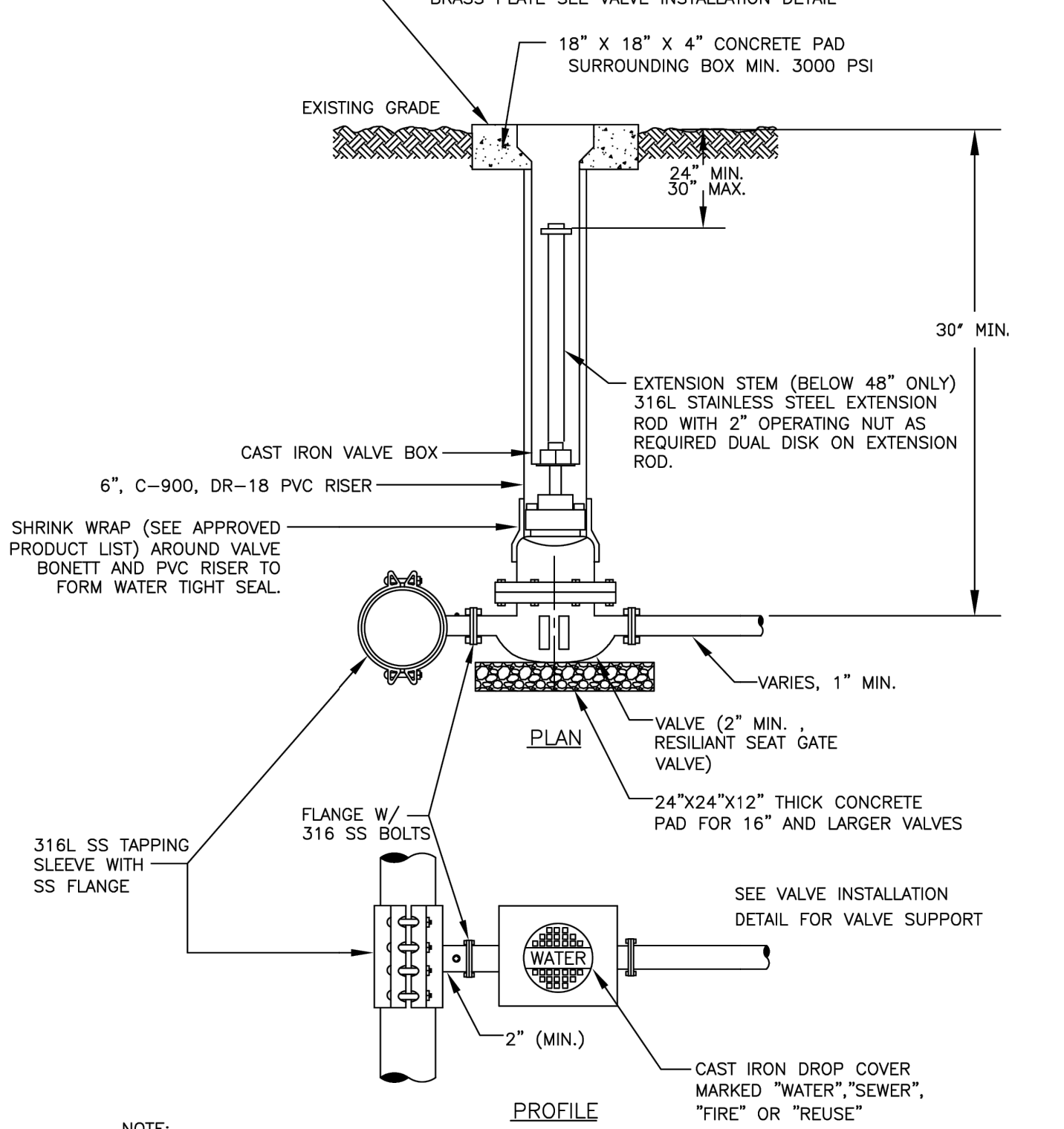
MARCO ISLAND UTILITIES
960 N. COLLIER BLVD.
MARCO ISLAND, FL 34145
SCALE: NOT TO SCALE
DATE: MAY 2023
DWG #: CB-19.DWG



- HDD INSTALLATION NOTES:**
1. ALL MATERIALS SHALL BE IN ACCORDANCE WITH MIU STANDARD SPECIFICATIONS.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFICATION OF AFFECTED AGENCIES AND COORDINATION WITH ALL UTILITIES PRIOR TO CONSTRUCTION.
 3. ALL CONSTRUCTION MATERIALS, INCLUDING DRILLING FLUID, SHALL BE REMOVED FROM THE SITE PRIOR TO RESTORATION OF DISTURBED AREAS.
 4. ALL RESTORATION WORK SHALL BE IN ACCORDANCE WITH MIU STANDARD SPECIFICATIONS.
 5. HORIZONTAL DIRECTIONAL DRILL INSTALLATION IN STATE RIGHT-OF-WAYS SHALL MEET FDOT REQUIREMENT AND SHALL HAVE FDOT CONSTRUCTION PERMIT.
 6. SEE DETAIL CB-19 FOR NEAR SURFACE LOCATORS.

CB-23 TYPICAL HORIZONTAL DIRECTIONAL DRILL
NOT TO SCALE

MARCO ISLAND UTILITIES
960 North Collier Blvd.
MARCO ISLAND, FL 34145
SCALE: NOT TO SCALE
DATE: MAY 2023
DWG #: CB-23.DWG



- NOTE:**
1. ALL BURIED DUCTILE IRON FITTINGS AND VALVES TO BE POLYETHYLENE ENCASED IN ACCORDANCE WITH MIU STANDARD SPECIFICATIONS.
 2. ALL GATE VALVES: GATE MUST OPEN AND CLOSE IN A VERTICAL POSITION AFTER INSTALLED, NO SIDE OPENING VALVES WILL BE ACCEPTED.
 3. ALL PIPING AND VALVES IN CONTACT WITH POTABLE WATER SHALL CONFORM TO ANSI/NSF STANDARD 61.
 4. ALL 16" VALVES AND LARGER SHALL BE PROVIDED WITH 24"x24"x12" THICK CONCRETE PAD.

W-14 1" - 30" TAPPING SLEEVE AND VALVE FOR 1" TO 30" SERVICES
NOT TO SCALE

MARCO ISLAND UTILITIES
960 North Collier Blvd.
MARCO ISLAND, FL 34145
SCALE: NOT TO SCALE
DATE: MAY 2023
DWG #: W-14.DWG

NO. BY DATE REVISION	
UNITED CHURCH OF MARCO ISLAND 750 BALD EAGLE DR, MARCO ISLAND, FL 34145	
PROJECT NAME: BARGAIN BASKET MARCO ISLAND	
SHEET TITLE: GENERAL DETAILS	
CONSULTANT: RDA CONSULTING ENGINEERS, LLC 791 10TH STREET SOUTH, SUITE 302 NAPLES, FLORIDA 34102 PHONE: (239) 649-1551 FAX: (239) 649-7112 WWW.RDAFL.COM	
ENGINEER'S STAMP MICHAEL J. DELATE, P.E. FL. LICENSE NO. 49442 COA #31149 This item has been digitally signed and sealed by Michael J. Delate, P.E. on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic documents.	
DATUM NOTE: ALL ELEVATIONS SHOWN REFERENCE NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88) CONVERSION FACTOR TO NATIONAL GEODETIC VERTICAL DATUM 1929 (NGVD29) IS 1.157	
DESIGNED BY: B.B.	DRAWN BY: M.A.
CHECKED BY: M.J.D.	AS NOTED
DATE: MARCH 2025	PROJECT No. RDA250152
SHEET: 8 of 8	