

SCOPE OF WORK

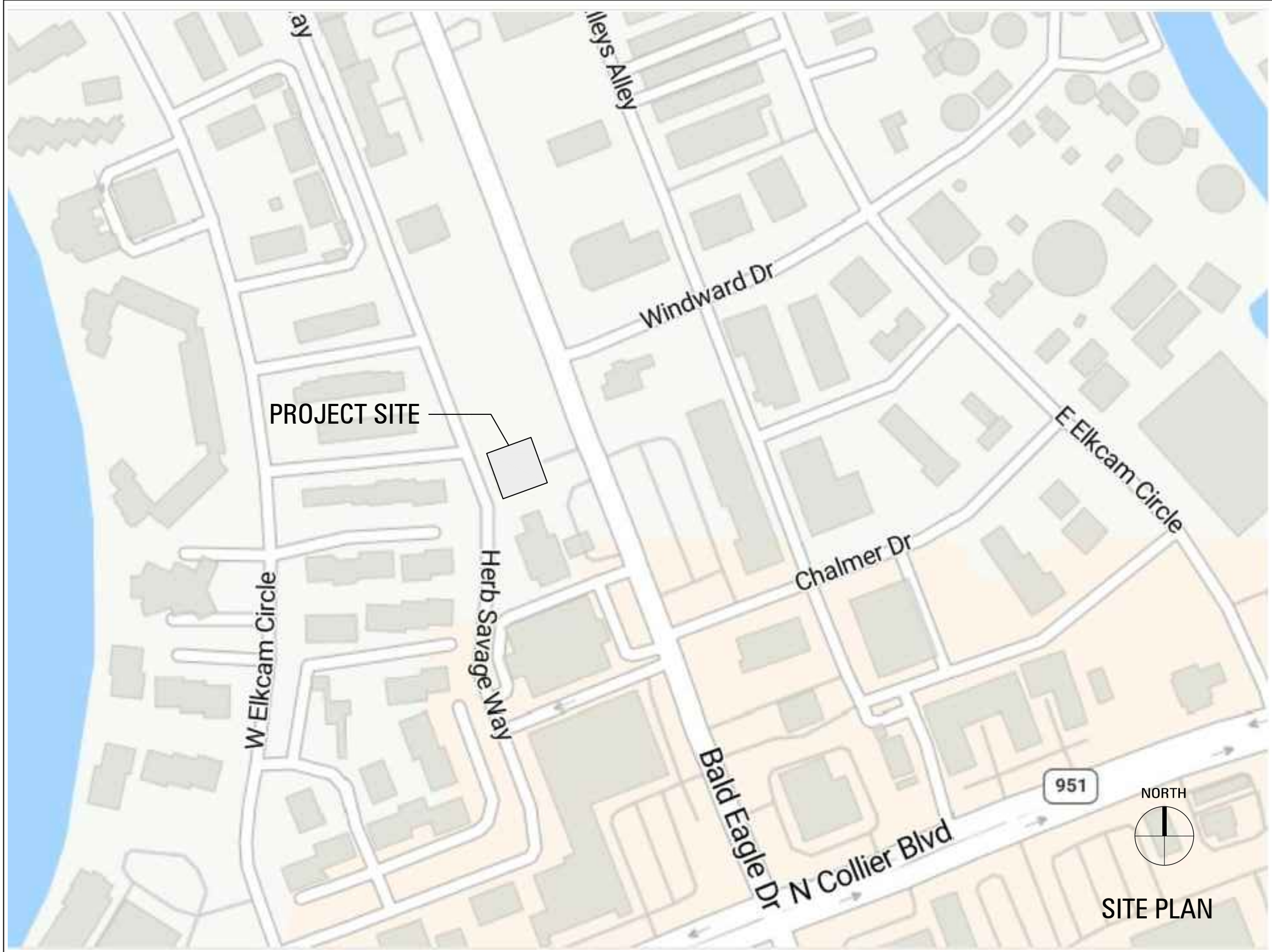
1. WORK INCLUDES ADDITION TO EXISTING BUILDING. TRADES INCLUDE BUT NOT LIMITED TO CONCRETE, MASONRY, WOOD ROOF TRUSSES, SHEATHING, INSULATION, ROOFING, FLOOD-PROOFING, DOORS, WINDOWS, LOADING DOCK, FINISHES ACCESSORIES, PLUMBING, HVAC, FIRE SPRINKLER, FIRE ALARM, AND ELECTRICAL WORK. WORK INCLUDES EARTHWORK, DRAINAGE, UTILITIES, PAVING, STRIPING, AND RELATED SITE WORK.
2. WORK INCLUDES MINOR ALTERATIONS TO EXISTING BUILDING INCLUDING REMOVAL OF BARRIERS TO ACCESSIBILITY FOR RESTROOM AND DRESSING AREAS. WORK INCLUDES RECONFIGURATION OF FIXTURES IN ONE EXISTING RESTROOM, CONSTRUCTION OF NEW ACCESSIBLE RESTROOM, DRESSING ROOM, AND OFFICE.
3. WORK INCLUDES PHASED CONSTRUCTION TO ALLOW CONTINUED USE OF MERCANTILE OCCUPANCY DURING CONSTRUCTION. PHASE CONSTRUCTION REQUIRES COMPLETION OF ADDITION PRIOR TO START OF INTERIOR ALTERATIONS AND REMOVAL OF EXISTING STAIRS AT REAR OF BUILDING. NO PUBLIC ACCESS WILL BE ALLOWED INTO WORK AREAS DURING CONSTRUCTION OPERATIONS.
4. FLOOR ELEVATION OF PROPOSED ADDITION WILL MATCH EXISTING BUILDING. FLOOD-PROOFING AND REMOVABLE FLOOD PANELS WILL BE PROVIDED FOR ADDITION AND EXISTING BUILDING.

GENERAL NOTES

1. FIELD INSPECT, MEASURE, AND EVALUATE EXISTING CONDITIONS PRIOR TO SUBMITTING PROPOSAL. BIDS SHALL INCLUDE ALL LABOR, SUPERVISION, MATERIAL, TRIM, ACCESSORIES, FASTENERS, CONNECTIONS, ETC. REQUIRED FOR A COMPLETE PROPER CODE-COMPLIANT INSTALLATION OF THE WORK INDICATED IN THE DOCUMENTS.
2. CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SITE SAFETY, MEANS & METHODS OF CONSTRUCTION, FIELD MEASUREMENTS, COORDINATION OF TRADES, COORDINATION AND ADJUSTMENTS OF DIMENSIONS, AND QUANTITIES.
3. FIELD VERIFY LOCATIONS FOR BURIED UTILITIES PRIOR TO START OF CONSTRUCTION.
4. EXISTING STRUCTURES, EQUIPMENT, SIGNS, FIXTURES, LANDSCAPING, ETC. DAMAGED DURING CONSTRUCTION SHALL BE REPLACED OR RESTORED TO LIKE NEW CONDITION.
5. REFER TO ENTIRE SET OF CONTRACT DOCUMENTS FOR ADDITIONAL REQUIREMENTS.

GENERAL REQUIREMENTS

1. WORK AREAS; LIMIT USE OF PROJECT SITE TO WORK IN AREAS DESIGNATED BY OWNER. DO NOT DISTURB PORTIONS OF PROJECT SITE BEYOND AREAS IN WHICH THE WORK IS INDICATED.
2. VEHICLE RESTRICTIONS: CONSTRUCTION VEHICLE PARKING IS LIMITED TO CONSTRUCTION PARKING AREAS DESIGNATED BY OWNER. KEEP DRIVEWAYS AND ENTRANCES SERVING PREMISES CLEAR AND AVAILABLE TO OWNER, OWNER'S EMPLOYEES, AND EMERGENCY VEHICLES AT ALL TIMES. DO NOT USE THESE AREAS FOR PARKING OR STORAGE OF MATERIALS.
3. OWNER OCCUPANCY: OWNER WILL OCCUPY ALL ADJACENT PREMISES DURING ENTIRE CONSTRUCTION PERIOD. COOPERATE WITH OWNER DURING CONSTRUCTION OPERATIONS TO MINIMIZE CONFLICTS AND FACILITATE OWNER USAGE. PERFORM THE WORK SO AS NOT TO INTERFERE WITH OWNER'S OPERATIONS. MAINTAIN EXISTING EXITS UNLESS OTHERWISE INDICATED.
4. MAINTAIN ACCESS TO EXISTING ROADS TO ADJACENT OCCUPIED FACILITIES. DO NOT CLOSE ACCESS WITHOUT WRITTEN PERMISSION FROM OWNER AND AUTHORITIES HAVING JURISDICTION. PROVIDE NOT LESS THAN 14 DAYS NOTICE TO OWNER OF ACTIVITIES THAT WILL AFFECT OWNER'S OPERATIONS.
5. EXISTING UTILITY INTERRUPTIONS: DO NOT INTERRUPT UTILITIES SERVING FACILITIES OCCUPIED BY OWNER OR OTHERS UNLESS PERMITTED UNDER THE FOLLOWING CONDITIONS AND THEN ONLY AFTER PROVIDING TEMPORARY UTILITY SERVICES ACCORDING TO REQUIREMENTS INDICATED. NOTIFY OWNER BY EMAIL NOT LESS THAN 14 DAYS IN ADVANCE OF PROPOSED UTILITY INTERRUPTIONS. OBTAIN OWNER'S WRITTEN PERMISSION BEFORE PROCEEDING WITH UTILITY INTERRUPTIONS.
6. DISRUPTIVE OPERATIONS: NOTIFY OWNER PRIOR TO OPERATIONS THAT MAY RESULT IN HIGH LEVELS OF NOISE AND VIBRATION, ODORS, OR OTHER DISRUPTIONS TO OCCUPANCY. NOTIFY OWNER BY EMAIL NOT LESS THAN 14 DAYS IN ADVANCE OF PROPOSED DISRUPTIVE OPERATIONS. OBTAIN OWNER'S WRITTEN PERMISSION BEFORE PROCEEDING WITH DISRUPTIVE OPERATIONS.



Addition and Alterations to the

Bargain Basket

750 Bald Eagle Drive
Marco Island, Florida 34145

Issued for Permits

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CODE DATA

BUILDING CODE	FLORIDA BUILDING CODE: EXISTING INCL. CH 8 ALTERATION LEVEL 2 INCL. CH 11 ADDITIONS	8TH ED.			
FIRE CODE	FLORIDA FIRE PROTECTION CODE INCL. CH 37 EXISTING MERCANTILE INCL. CH 43 BLDG REHABILITATION EXISTING BLDG MODIFICATION AND ADDITION	8TH ED.			
OCCUPANCY CONSTR. TYPE FIRE SPRINKLER FIRE ALARM	GROUP M, MERCANTILE III-B PROVIDED UNDER SEPARATE SUBCONTRACTOR PERMIT PROVIDED UNDER SEPARATE SUBCONTRACTOR PERMIT				
BUILDING AREAS	EXISTING ENCLOSED BUILDING	5,186 SF			
	EXISTING COVERED AREAS	145 SF			
	TOTAL EXISTING STRUCTURE	5,331 SF			
	PROPOSED ENCLOSED ADDITION	2,472 SF			
	PROPOSED COVERED AREAS	410 SF			
	TOTAL PROPOSED ADDITIONS	2,882 SF			
	PROPOSED TOTAL BUILDING AREA	8,213 SF			
	ALLOWABLE BUILDING AREA- NS	12,500 SF			
BUILDING HEIGHT	EXISTING BUILDING	27'-7"			
	PROPOSED ADDITION	20'-0"			
	ALLOWED HEIGHT- NS	55'-0"			
	PROPOSED NUMBER OF STORIES	1			
	ALLOWED NUMBER OF STORIES- NS	2			
OCCUPANT LOADS		SF AREA	SF FACTOR	OCCUPANTS	
	FBC MERCANTILE	5,186	60	86	
	FBC STORAGE, STOCK, SHIPPING	2,472	300	8	
	FBC TOTAL	7,658		94	
	NFPA MERCANTILE- SALES AREA	5,186	30	173	
	NFPA STORAGE, RECEIVING, SHIPPING	2,472	300	8	
	NFPA TOTAL	7,658		181	
SEPARATION	NONE REQUIRED				
EGRESS REQUIRED	NUMBER OF EXITS REQUIRED	2			
	NUMBER OF EXITS PROVIDED	4			
	TOTAL EXIT WIDTH REQUIRED	181 OCC	x 0.20 RATE	36.2 IN.	
	TOTAL EXIT WIDTH PROVIDED	5	x 34 EA	170.0 IN.	
FEMA	EXISTING FINISH FLOOR	8.74' NAVD			
	PROPOSED ADDITION FFE	8.74' NAVD			
	BASE FLOOD ELEVATION	8.00 NAVD			
	FLOOD PROOF PANELS PROPOSED				

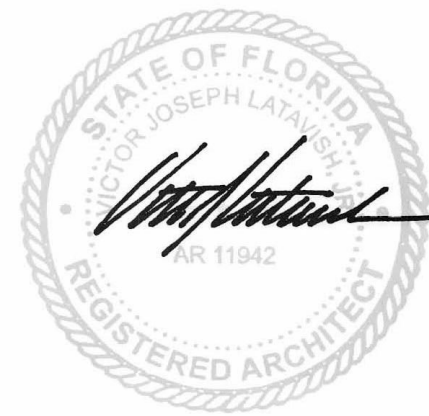


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NOTE: DRAWINGS ARE NOT VALID UNLESS
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PROFESSIONAL IN ACCORDANCE WITH
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Addition and Alterations to the

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




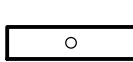







Cover Sheet

PROJECT NUMBER 24-680
SHEET NUMBER G-0.1

ABBREVIATIONS

A/C	AIR CONDITIONING	E	EAST	ID	INSIDE DIAMETER	REF	REFERENCE, REFRIGERATOR
AB	ANCHOR BOLT	EA	EACH	IN	INCH	REQD	REQUIRED
AHU	AIR HANDLER UNIT	EJ	EXPANSION JOINT	INSUL	INSULATION	REV	REVISED
ACP	ACCESS PANEL	EL	ELECTRIC, ELEVATION, ELEVATOR	INT	INTERIOR	RD	ROOF DRAIN
ACT	ACOUSTIC CEILING TILE	ELEV	ELEVATION, ELEVATOR	JAN	JANITOR	RFG	RECESSED FLOOR GRATE
ADDL	ADDITIONAL	EM	EMERGENCY	JB	JUNCTION BOX	RO	ROUGH OPENING
AFF	ABOVE FINISH FLOOR	ENG	ENGINEER	JT	JOINT	ROW	RIGHT OF WAY
AFG	ABOVE FINISH GRADE	EQ	EQUAL	K	KIPS	S	SOUTH
ALUM	ALUMINUM	EQUIP	EQUIPMENT	L	LONG	SD	SMOKE DETECTOR
ANOD	ANODIZED	ETD	EXIT TRAVEL DISTANCE	LAM	LAMINATED	SE	SOUTHEAST
ARCH	ARCHITECT/ ARCHITECTURAL	EW	EACH WAY	LAV	LAVATORY	SF	SQUARE FOOT
AUX	AUXILIARY	EW/C	ELECTRIC WATER COOLER	LBS	POUNDS	SIM	SIMILAR
AVE	AVENUE	EW/CB	EW/C WITH BOTTLE FILLER	LF	LINEAR FT	SH	SHELF
BC	BOTTOM CHORD	EWS	EMERGENCY EYEWASH/SHOWER	LIN	LINEAR	SHT	SHEET
BD	BOARD	EX	EXISTING	LT	LIGHT	SHWR	SHOWER
BFE	BASE FLOOD ELEVATION	EXIST	EXISTING	LTWT	LIGHT WEIGHT	SPECS	SPECIFICATIONS
BKR	BREAKER	EXP	EXPANSION	LVT	LUXURY VINYL TILE	SQ	SQUARE
BLDG	BUILDING	EXT	EXTERIOR	LOUV	LOUVER	SS	STAINLESS STEEL
BLVD	BOULEVARD	F	FEMALE	LWC	LIGHT WEIGHT CONC	STD	STANDARD
BM	BEAM	FA	FIRE ALARM ANNUNCIATOR	M	MEN, MALE	ST	STREET
BO	BOTTOM, BOTTOM OF	FACP	FIRE ALARM CONTROL PANEL	MAX	MAXIMUM	STL	STEEL
BRG	BEARING	FB	FLOOD BARRIER	MB	MARKER BOARD	STR	STRUCTURAL
B/V	BETWEEN	FC	FURRING CHANNEL	MECH	MECHANICAL	SUSP	SUSPENDED
C	CHANNEL	FD	FLOOR DRAIN	MED	MEDIUM	SW	SOUTHWEST, SWITCH
CABT	CABINET	FDN	FOUNDATION	MFR	MANUFACTURER	SY	SQUARE YD
CC	COLLIER COUNTY	FE	FIRE EXTINGUISHER	MIN	MINIMUM	SYM	SYMMETRICAL
CHW	CHILLED WATER LINE	FEC	FE WITH CABINET	MISC	MISCELLANEOUS	TB	TACK BOARD
CJ	CONTROL JOINT	FFE	FINISH FLOOR ELEVATION	MO	MASONRY OPENING	TC	TOP CHORD
C/L	CENTER LINE	FG	FIBERGLASS	MS	MOP SINK	TEMP	TEMPERED
CL	CLEAR	FIN	FINISH	MTL	METAL	TEXT	TEXTURE
CLG	CEILING	FIXT	FIXTURE	N	NORTH	TH	THICK
CMU	CONCRETE MASONRY UNIT	FL	FLOOR	N/A	NOT APPLICABLE	TO	TOP OF
COL	COLUMN	FM	FIELD MEASURE	NE	NORTHEAST	TOB	TOP OF BEAM
CONC	REINFORCED CONCRETE	FO	FINISHED OPENING	NIC	NOT IN CONTRACT	T&B	TOP AND BOTTOM
CONS	CONSTRUCTION	FR	FIRE RATED/RESISTIVE	NO	NUMBER	T&G	TONGUE AND GROOVE
CONT	CONTINUOUS	FSR	FIRE SPRINKLER RISER	NOM	NOMINAL	TYP	TYPICAL
CP	CHILD PROOF	FT	FOOT	NTS	NOT TO SCALE	UG	UNDERGROUND
CPT	COMMON PATH OF TRAVEL	FTG	FOOTING	NW	NORTHWEST	UL	UNDERWRITERS LABORATORY
CT	CERAMIC TILE	FV	FIELD VERIFY	OC	ON CENTER	UNO	UNLESS NOTED OTHERWISE
CTB	CERAMIC TILE BASE	G	GAS LINE	OCC	OCCUPANCY, OCCUPANT	UR	URINAL
CU	AIR CONDITIONING UNIT	GA	GAUGE	OH	OVERHEAD	UTIL	UTILITY
D	DEEP	GC	GENERAL CONTRACTOR	OPP	OPPOSITE	VCT	VINYL COMPOSITION TILE
DET	DETAIL	GALV	GALVANIZED	PARTN	PARTITION	VERT	VERTICAL
DF	DRINKING FOUNTAIN	GEN	GENERATOR	PB	PUSH BUTTON	VTR	VENT THROUGH ROOF
DIA	DIAMETER	GFI	GROUND FAULT INTERRUPT	PEMB	PRE-ENG METAL BLDG	VTW	VENT THROUGH WALL
DIM	DIMENSION	GL	GLAZING	PL	PLATE	VWB	VINYL WALL BASE
DISP	DISPENSER, DISPOSAL	GND	GROUND	PLAM	PLASTIC LAMINATED	W	WEST, WIDTH, WOMEN
DN	DOWN	GYP	GYPSUM	PNL	PANEL	W/	WITH, WASHER
DO	DITTO	HB	HOSE BIBB	PSF	POUNDS PER SQ FOOT	W/O	WITHOUT
DR	DOOR, DRYER	HC	HANDICAP ACCESSIBLE	PSI	POUNDS PER SQ INCH	WBF	WATER BOTTLE FILLER
DS	DOWN SPOUT	HM	HOLLOW METAL	PT	PRESERVATIVE TREATED	WC	WATER CLOSET
DW	DISH WASHER	HR	HOUR	RAD	RADIUS	WD	WIDTH, WOOD
DWG	DRAWING	HT	HEIGHT	RD	ROAD	WH	WALL HYDRANT
		HW	HOT WATER	REC	RECESS	WP	WATERPROOF
				REINF	REINFORCING	WWF	WELDED WIRE FABRIC
						YD	YARD

PLAN SYMBOLS

ROOM ###	ROOM NAME ROOM NUMBER		KEYNOTE
A/ A##	SECTION NUMBER / SHEET NUMBER		KEYNOTE
1/ A##	DETAIL NUMBER / SHEET NUMBER		KEYNOTE
◁ 1/ A##	ELEVATION NUMBER / SHEET NUMBER		ACCESS PANEL
D-###	DOOR SCHEDULE NUMBER		EXHAUST FAN
L-###	LOUVER SCHEDULE NUMBER		LIGHT FIXTURE
SD-##	SELECTIVE DEMOLITION KEYNOTE		RETURN AIR REGISTER
SH-##	SHOWER ACCESSORY SCHEDULE NUMBER		LIGHT FIXTURE
TA-##	TOILET ACCESSORY SCHEDULE NUMBER		SUPPLY AIR DIFFUSER
W-##	WINDOW SCHEDULE NUMBER		EXISTING ELEVATION
	EXISTING WALL / PARTITION		PROPOSED ELEVATION
			MATCH EXIST. / PROPOSED ELEVATION

SECTION KEYNOTES

EX	EXISTING CONSTRUCTION	8A	PAINTED GALVANIZED HM DOOR
2A	PAVEMENT OVER COMPACTED BASE	8B	PAINTED GALVANIZED ROLLING DOOR
3A	REINFORCED CONCRETE STAIRS	8C	PAINTED OH DOOR ALUMINUM HOUSING
3B	ELEVATION VARIES, SEE SITE PLANS	8D	INTERIOR DOOR, SEE SCHEDULE
3C	REINFORCED CONCRETE STRUCTURE	9A	PAINTED SMOOTH CEMENT PLASTER OVER CMU / CONCRETE
3D	MATCH EXISTING FLOOR SLAB ELEVATION	9B	ALUMINUM FASCIA AND PAINTED SMOOTH CEMENT PLASTER CORNICE TO MATCH EXISTING
3F	RECESSED SUMP PIT 24" x 24" x 24"	9C	PAINTED SMOOTH CEMENT PLASTER OVER GALVANIZED LATH AND UNDERLAYMENT
3G	REINFORCED CONCRETE SLAB OVER VINYL VAPOR BARRIER OVER COMPACTED FILL PRETREATED FOR TERMITES	9D	PAINT FINISH
3H	3/4" CHAMFER	9E	PVC EXPANSION JOINT
4A	REINFORCED CMU	9F	PAINTED 1" SMOOTH CEMENT PLASTER TRIM
4B	GROUT PARAPET CMU SOLID	9G	PAINTED CEMENT PLASTER, FINISH TO MATCH EXISTING
4C	GROUT CMU SOLID BELOW FLOOR	9H	PATCH EXISTING WALL, HOLES, ETC., TYPICAL
4D	GROUT JAMBS & SILLS SOLID	9J	REMOVE EXISTING SIGNS AND SURROUND TRIM, PATCH WALL, PROVIDE NEW PAINTED SMOOTH CEMENT PLASTER
5A	ALUMINUM HANDRAIL	9K	GYP BD CEILING ON 1x3 FURRING 16" OC
5B	ALUMINUM LOUVER SHUTTER	9L	FRP FACED PLYWOOD ON 2-1/2" MTL STUDS 16" OC
5C	ALUMINUM GATE	9M	GYP WALLBOARD ON 3-5/8" MTL STUDS 16" OC
5D	ALUMINUM FRAMING	9N	VINYL WALL BASE
5E	ALUMINUM STAIR NOSING	9P	2x2' TEGULAR ACOUSTIC CEILING
5F	GALV 4 x 4 L	10A	SIGN, SEE DETAIL
5G	STEEL LADDER	10B	REMOVABLE FLOOD BARRIER
5H	LADDER SAFETY POST	10C	96" X 96" DOCK LIFT
6A	WOOD ROOF SHEATHING	10D	DOCK LIFT GATES
6B	WOOD ROOF TRUSSES	10E	DOCK LIFT BRIDGE
6C	WOOD TRUSS CONNECTORS	10F	HYDRAULIC PUMP UNIT
6D	WOOD FRAMING / BRACING	10G	DOCK LIFT SIDE SAFETY RAILS & TOE BOARDS
6E	PT WOOD BLOCKING	16A	LIGHT FIXTURE
7A	ROOF MEMBRANE, SEE SPECS	16B	EL METER
7B	MEMBRANE FLASHING, SEE SPECS	16C	EL SWITCHGEAR
7C	ALUMINUM GUTTER		
7D	ALUMINUM DOWNSPOUT	NOTE: KEYNOTES INDICATE TYPICAL MATERIALS AND CONDITIONS WHICH OCCUR THROUGHOUT THE WORK	
7E	ALUMINUM FASCIA		
7F	30 IN DIA ALUMINUM LOUVER		
7G	COVER BOARD		
7H	R30 RIGID INSULATION		
7I	R30 BATT INSULATION		
7J	R-5 FOAM INSULATION		
7K	ROOF-TO-WALL EXPANSION JOINT WORK		
7L	30" x 36" ROOF HATCH		
7M	CRICKET		
7N	SCUPPER FLASHING		
7O	(NOT USED)		
7P	EXPANSION JOINT FILLER & SEALANT		



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Abbreviations &
Plan Symbols

GENERAL AND SUPPLEMENTARY CONDITIONS OF THE CONTRACT DOCUMENTS

01000 CONTRACT AND GENERAL CONDITIONS

AIA DOCUMENT 101, STANDARD FORM OF AGREEMENT BETWEEN OWNER AND CONTRACTOR, STIPULATED SUM. AIA DOCUMENT A201 GENERAL CONDITIONS OF THE CONTRACT IS BY REFERENCE MADE PART OF THE CONTRACT DOCUMENTS.

01010 SUPPLEMENTARY CONDITIONS

APPLICABILITY: SPECIFICATIONS SHALL APPLY IN FULL TO CONTRACTORS, SUBCONTRACTOR, MATERIAL SUPPLIERS AND ANY OTHER PARTY INVOLVED WITH EXECUTION OF THE WORK UNDER CONTRACT TO THE GENERAL CONTRACTOR. FOR BREVITY IN THIS SPECIFICATION ALL OF THESE PARTIES SHALL BE REFERRED TO AS "CONTRACTORS".

SCOPE OF WORK: THE CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR HAVING FAMILIARIZED HIMSELF WITH THE NATURE AND EXTENT OF THE CONTRACT DOCUMENTS AND SITE CONDITIONS THAT MAY IN ANY MANNER AFFECT THE WORK.

GENERAL REQUIREMENTS: WORK PERFORMED SHALL COMPLY WITH THE CONTRACT DOCUMENTS INCLUDING THE SPECIFICATIONS, THE DRAWINGS, AND THE GENERAL NOTES, WHICH ARE COMPLEMENTARY. WHATEVER IS SHOWN OR REASONABLY INFERRED FROM ONE SHALL BE AS IF REQUIRED BY ALL.

PRECEDENCE: THE SPECIFIC TERMS AND CONDITIONS OF THESE SUPPLEMENTARY CONDITIONS AND SPECIFICATIONS SUPERSEDE OTHER GENERAL PROVISIONS AND TERMS OF THE CONTRACT. IN GENERAL, FIGURES GOVERN SCALE DIMENSIONS AND LARGE-SCALE DRAWINGS GOVERN THOSE OF SMALLER SCALE.

INTENT: THE INTENT OF THE DOCUMENTS IS TO INCLUDE ALL LABOR, MATERIAL, ACCESSORIES, CONNECTIONS, ETC. REQUIRED FOR A COMPLETE CODE-COMPLIANT INSTALLATION OF WORK INDICATED IN THE DOCUMENTS. ANY WORK THAT MAY REASONABLY BE INFERRED FROM THE SPECIFICATIONS AND DRAWINGS AS BEING REQUIRED TO PRODUCE THE INTENDED RESULT SHALL BE SUPPLIED WHETHER OR NOT IT IS SPECIFICALLY IDENTIFIED.

INTERPRETATIONS: IF DRAWINGS AND SPECIFICATIONS CONFLICT OR REQUIRE CLARIFICATIONS, THE CONTRACTOR MAY SEND A REQUEST FOR INFORMATION (RFI) TO THE ARCHITECT. UNLESS DIRECTED OTHERWISE, THE MORE STRINGENT REQUIREMENT SHALL GOVERN AND THE ARCHITECT'S INTERPRETATION OF THE INTENT SHALL BE FINAL.

SUBTITLES: DIVISION OF WORK UNDER TITLES AND SUBTITLES IS FOR CONVENIENCE ONLY AND DOES NOT RELIEVE BIDDERS FROM PROVIDING RELATED WORK REQUIRED ELSEWHERE IN THE DOCUMENTS. EACH CONTRACTOR SHALL EXAMINE THE ALL PARTS OF THE DRAWINGS AND SPECIFICATIONS FOR ALL PARTS OF HIS WORK.

DELAYS, DAMAGES, & TIME EXTENSIONS: NO INTERRUPTION, INTERFERENCE, INEFFICIENCY, SUSPENSION OR DELAY IN THE COMMENCEMENT OR PROGRESS OF THE WORK FROM ANY CAUSE WHATEVER, INCLUDING THOSE FOR WHICH OWNER OR ITS AGENTS MAY BE RESPONSIBLE, IN WHOLE OR IN PART, SHALL RELIEVE CONTRACTOR OF HIS OR HER DUTY TO PERFORM, NOR SHALL IT GIVE RISE TO ANY RIGHT TO DAMAGES OR ADDITIONAL COMPENSATION. CONTRACTOR EXPRESSLY ACKNOWLEDGES AND AGREES THAT IT SHALL RECEIVE NO DAMAGES FOR DELAY AND THE CONTRACTOR'S SOLE REMEDY, IF ANY, AGAINST OWNER OR ITS AGENTS WILL BE THE RIGHT TO SEEK AN EXTENSION TO THE CONTRACT TIME.

01220 SUBMITTALS

GENERAL: PROVIDE SUBMITTALS INCLUDING SHOP DRAWINGS, SAMPLES, & PRODUCT DATA FOR ITEMS REQUIRED BY SPECIFICATIONS IN ACCORDANCE WITH THE GENERAL CONDITIONS AND AS NOTED HEREIN:

REQUIRED SUBMITTALS: PROVIDE ONLY THE ITEMS REQUIRED IN OTHER SECTIONS OF THE SPECIFICATIONS. DO NOT PROVIDE MSDS SAFETY SHEETS OR EXTRANEOUS DATA.

CONTRACTORS SHOP DRAWING STAMP: EACH SUBMITTAL SHALL BEAR THE PROJECT NAME AND CONTRACTOR'S REVIEW STAMP, DATE, AND INITIALS INDICATING CONTRACTOR'S PERSONAL REVIEW. SUBMITTALS RECEIVED WITHOUT CONTRACTOR'S REVIEW STAMP, DATE, AND INITIALS WILL BE REJECTED AND RETURNED WITHOUT ARCHITECT'S REVIEW.

DISTRIBUTION PROTOCOL: SUBMITTALS RECEIVED DIRECTLY FROM SUBCONTRACTOR WILL BE RETURNED WITHOUT REVIEW.

SUBMITTAL FORMAT: PDF FILES

TRANSMITTAL COVER LETTER: PROVIDE ONE TRANSMITTAL LETTER FOR EACH SUBMITTAL. SUBMIT ALL SHOP DRAWINGS, PRODUCT DATA, AND SUBMITTALS IN ONE COMPLETE PDF FILE FOR EACH TRADE.

RELEASES: DO NOT ORDER MATERIALS UNTIL THE CORRESPONDING SUBMITTALS ARE REVIEWED BY THE ARCHITECT.

PAYMENTS: DO NOT SUBMIT A PAYMENT REQUEST FOR WORK UNTIL THE CORRESPONDING SUBMITTALS ARE REVIEWED BY THE ARCHITECT.

IDENTIFICATION: NUMBER EACH SUBMITTAL TO CORRESPOND TO THE SPECIFICATION SECTION, I.E. 07200.

CERTIFICATION: PROVIDE PE SEALS AND WRITTEN CERTIFICATION OF COMPLIANCE WITH DESIGN CRITERIA WHERE REQUIRED

NON-COMPLIANT WORK: CLEARLY IDENTIFY NON-COMPLIANCE WITH THE DOCUMENTS, IF ANY, WITH RED COLOR NOTATIONS.

DEVIATIONS AND SUBSTITUTIONS: CLEARLY MARK ALL PROPOSED CHANGES OR DEVIATIONS FROM THE DOCUMENTS WITH RED COLOR NOTATIONS. ITEMS SO NOTED AND ACCEPTED BY THE ARCHITECT WILL BE CONSIDERED AUTHORIZED CHANGES. OTHER CHANGES OR DEVIATIONS WILL BE CONSIDERED UNAUTHORIZED CHANGES AND NON-COMPLIANT WORK.

A/E REVIEW: DESIGN PROFESSIONAL'S REVIEW OF A SUBMITTAL DOES NOT CONSTITUTE APPROVAL OR ACCEPTANCE OF SUBMITTALS EXCEPT FOR GENERAL DESIGN INTENT. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR COORDINATION OF DIMENSIONS, QUANTITIES, ACCESSORIES, CONNECTIONS, AND OTHER REQUIREMENTS OF THE CONTRACT DOCUMENTS.

REVIEW SCHEDULE: CONTRACTOR SHALL ALLOW NOT LESS THAN 14 CALENDAR DAYS IN PROJECT SCHEDULE FOR EACH A/E REVIEW OF EACH REQUIRED SUBMITTAL.

01230 RESUBMITTALS

IDENTIFICATION: NUMBER EACH RESUBMITTAL SIMILARLY AND CONSECUTIVELY WITH AN ALPHABETICAL SUFFIX, I.E. 072000-A.

REIMBURSABLE CHARGES: CONTRACTOR SHALL BE CHARGED FOR A/E SERVICES BASED ON THE STANDARD HOURLY RATE SCHEDULE, PLUS RELATED EXPENSES, AND MARKUP FOR THIRD AND SUBSEQUENT RESUBMITTALS.

01310 SCHEDULING

GENERAL: PROVIDE CPM SCHEDULE OR BAR-CHART INDICATING WORK SCHEDULE OF ALL MAJOR TRADES. IF APPLICABLE, SCHEDULE SHALL INCLUDE NOTES CONCERNING INTERFACE REQUIREMENTS WITH OWNER-SUPPLIED AND NIC ITEMS.

LIMITATIONS: DO NOT START CONSTRUCTION UNTIL SCHEDULE HAS BEEN DELIVERED TO THE ARCHITECT AND OWNER.

UPDATES: SCHEDULE IS TO BE UPDATED MONTHLY DURING CONSTRUCTION, AND COPIED TO ARCHITECT AND OWNER PRIOR TO APPLICATION FOR PAYMENT. SCHEDULE ALL SUBMITTALS FOR DELIVERY TO ARCHITECT WITHIN 60 DAYS OF NOTICE TO PROCEED.

01330 USE OF THE SITE

RESTRICTIONS: ALL CONSTRUCTION WORK, RELATED STAGING AREAS, AND CONSTRUCTION PARKING SHALL BE RESTRICTED TO DESIGNATED LIMITS OF CONSTRUCTION AND STAGING AREAS AS MAY BE INDICATED ON THE DRAWINGS, AND/OR AS DESIGNATED BY THE OWNER.

SCHEDULED CLOSURES OR UTILITY INTERRUPTIONS: PROVIDE WRITTEN SCHEDULE AND NOTIFICATION DELIVERED TO THE ARCHITECT AND OWNER AT LEAST 7 CALENDAR DAYS PRIOR TO EACH SCHEDULED CLOSURE OR UTILITY INTERRUPTION, CLEARLY DELINEATING EACH WORK AREA AND SCHEDULE FOR COMPLETION OF EACH AREA REQUIRING CLOSURE.

NOISE ABATEMENT: THE USE OF ANY PORTABLE OR VEHICULAR RADIO, CD, TAPE, OR OTHER MUSIC IS PROHIBITED ONSITE.

DRUG-FREE WORKPLACE: THE POSSESSION OF INTOXICANTS OF ANY KIND IS PROHIBITED ONSITE, INCLUDING BUT NOT LIMITED TO DRUGS AND ALCOHOL.

01400 SUPERVISION

GENERAL CONTRACTOR: ASSIGN ONE SUPERINTENDENT TO CLOSELY COORDINATE AND SUPERVISE THE WORK OF ALL TRADES. SUPERINTENDENT SHALL BE ONSITE DURING CONSTRUCTION ACTIVITIES, INCLUDING MATERIAL DELIVERIES, WORK OF ALL SUBTRADES, AND INSPECTIONS.

SUBTRADES: EACH SUBCONTRACTOR SHALL ASSIGN A SUPERINTENDENT OR FOREMAN WHO IS THOROUGHLY KNOWLEDGEABLE OF SPECIFIC STANDARDS INDICATED ABOVE. THE SUPERINTENDENTS SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, VERBAL COMMUNICATION, AND WRITTEN CORRESPONDENCE REQUIRED FOR THE COMPLETION OF HIS WORK, AND HE SHALL REMAIN ON SITE CONTINUOUSLY DURING THE WORK OF HIS TRADE.

LABOR: USE ONLY TRAINED AND SKILLED LABOR AND CRAFTSMEN COMPETENT, QUALIFIED, AND EXPERIENCED IN THE TYPE OF WORK INVOLVED.

CONDUCT AND ATTIRE: THE CONDUCT AND ATTIRE OF ALL PERSONS ON SITE SHALL BE WORKMANLIKE AND PROFESSIONAL AT ALL TIMES. THE CONTRACTOR SHALL PROMPTLY REMOVE FROM THE JOBSITE ANY PERSON FAILING TO MEET THIS REQUIREMENT.

01410 COORDINATION

GENERAL: CONTRACTOR SHALL INSPECT ALL CONDITIONS, SUBSTRATES, SHOP DRAWINGS, AND THE COMPLETE SET OF CONTRACT DOCUMENTS TO SCHEDULE AND COORDINATE THE WORK OF ALL TRADES.

FIELD MEASUREMENTS: THE CONTRACTOR SHALL FIELD MEASURE CONDITIONS, EQUIPMENT, FIXTURES, DEVICES, ACCESSORIES, ETC., AND PREPARE SKETCHES AND/OR FULL SIZE TEMPLATES AS NEEDED TO COORDINATE THE INSTALLATION OF THE WORK OF ALL TRADES INCLUDING BUT NOT LIMITED TO STRUCTURAL, ARCHITECTURAL, MECHANICAL, PLUMBING AND/OR ELECTRICAL WORK.

SHOP DRAWING AND FIELD TOLERANCE COORDINATION: COORDINATION SHALL INCLUDE CONSIDERATION OF MANUFACTURERS RECOMMENDED MAINTENANCE CLEARANCES, REPLACEMENT, ACCESS, DRAINAGE, SLOPES, AND ALLOWABLE WORKMANSHIP TOLERANCES.

DIMENSIONAL ADJUSTMENTS: THE CONTRACTOR SHALL COORDINATE ALL MINOR DIMENSIONAL ADJUSTMENTS NECESSARY TO ACCOMMODATE EXISTING CONDITIONS AND THE WORK OF ALL TRADES.

ON-SITE VERIFICATION: ALL DIMENSIONS, QUANTITIES, AND METHODS OF CONSTRUCTION SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

01420 WORKMANSHIP

GENERAL: ALL MATERIALS AND EQUIPMENT SHALL BE INSTALLED IN A NEAT, ORDERLY, AND WORKMANLIKE MANNER IN ACCORDANCE WITH THE DOCUMENTS AND REFERENCED STANDARDS.

QUALITY CONTROL: CONTRACTOR SHALL CAREFULLY CHECK THE WORK OF ALL SUBSTRATE AND FRAMING TRADES PRIOR TO START OF FINISH TRADES. CHECK AND STRAIGHTEN ALL SUBSTRATE AND ROUGH-IN ITEMS WITH A LEVEL, PLUMB-BOB, AND SQUARE TO INSURE ALL WORK IS LEVEL, PLUMB, STRAIGHT, SQUARE, AND WITHIN ALLOWABLE TOLERANCES.

FINISHES: DO NOT START SUBSEQUENT FINISH WORK OVER SUBSTRATE SURFACES UNTIL ALL UNSATISFACTORY SUBSTRATE DEFECTS ARE CORRECTED. PROVIDE SHIMS, FURRING, FRAMING, ACCESSORIES, AND OTHER ADJUSTMENTS AS MAY BE NEEDED TO ACHIEVE SPECIFIED TOLERANCES.

SPECIFIED STANDARDS: CONTRACTOR SHALL RE-CHECK ALL FINISHED SURFACES TO VERIFY COMPLIANCE WITH REFERENCED STANDARDS AND TOLERANCES.

ELECTRICAL, PLUMBING, AND MECHANICAL TRADES: ALL SUBCONTRACTOR WORK SHALL BE ORGANIZED IN A NEAT, ORDERLY MANNER, SQUARE WITH HORIZONTAL AND VERTICAL BUILDING LINES EXCEPT AS NEEDED TO ACHIEVE REQUIRED POSITIVE SLOPES.

CORRECTIVE WORK: THE ARCHITECT RESERVES THE RIGHT TO DIRECT THE REMOVAL AND REPLACEMENT OF ITEMS, WHICH SOLELY IN HIS OPINION, DOES NOT PRESENT A NEAT, ORDERLY, AND WORKMANLIKE APPEARANCE, PROVIDED THAT SUCH AN ORDERLY AND NEAT INSTALLATION CAN BE MADE USING CUSTOMARY NATIONALLY RECOGNIZED TRADE METHODS BY COMPETENT, TRAINED, AND SKILLED WORKMEN. THE COSTS FOR REMOVAL AND REPLACEMENT OF NON-COMPLYING OR OTHERWISE UNACCEPTABLE WORK SHALL NOT BE AN ADDITIONAL EXPENSE.

01430 REFERENCED CODES AND STANDARDS

ADA: ALL WORK SHALL COMPLY WITH THE AMERICANS DISABILITIES ACT.

REFERENCED CODES: ALL WORK INSTALLED IS TO COMPLY WITH THE FLORIDA BUILDING CODE AND ALL FEDERAL, STATE, COUNTY, OR MUNICIPAL ORDINANCES AND CODES LEGALLY ADOPTED BY THE AUTHORITIES HAVING JURISDICTION, INCLUDING APPLICABLE APPENDICES AND EDITIONS. ADOPTED CODES INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:

- 8th EDITION FBC- BUILDING
- 8th EDITION FBC- GAS
- 8th EDITION FBC- MECHANICAL
- 8th EDITION FBC- PLUMBING
- 8th EDITION FLORIDA FIRE PREVENTION CODE

AMENDMENTS: COMPLY WITH NFPA CODES AS AMENDED BY FLORIDA BUILDING CODE AND FLORIDA FIRE PREVENTION CODE

PRECEDENCE: IN CASE OF DIFFERENCES BETWEEN THESE CODES, THE MOST STRINGENT SHALL GOVERN, AS DETERMINED BY THE AHJ AND THE ARCHITECT.

REFERENCED STANDARDS: ALL WORK SHALL COMPLY WITH APPLICABLE PORTIONS OF THE REFERENCED STANDARDS LISTED IN THE FBC INCLUDING BUT NOT LIMITED TO AAMA, ACI, AISC, ANSI, ASCE, ASHRAE, ASTM, FM, GA, OSHA, NFPA, AND UL.

01440 JOBSITE SAFETY

THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, AND JOBSITE SAFETY.

01631 CHANGE ORDERS

IN THE EVENT THE OWNER PROPOSES TO ADD OR DELETE WORK FROM THE CONTRACT, ARCHITECT WILL SUBMIT A WRITTEN PROPOSAL REQUEST TO THE CONTRACTOR FOR ANY PROPOSED OWNER-INITIATED CHANGE ORDERS. THE PROPOSAL REQUEST IS NOT AN AUTHORIZATION TO PROCEED WITH THE WORK. CONTRACTOR-INITIATED CHANGE ORDER REQUESTS SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW, COMPLETE WITH DOCUMENTATION SUBSTANTIATING ALL PROPOSED ADDITIONAL COSTS. THE CHANGE ORDER REQUEST SHALL BE SUBMITTED NOT LESS THAN 5 WORKING DAYS PRIOR TO A SCHEDULED JOB MEETING. ALL CHANGE ORDERS ARE SUBJECT TO AUDIT BY THE OWNER OR THE OWNER'S DESIGNATED REPRESENTATIVE.

01632 UNAUTHORIZED CHANGES

GENERAL: ANY CHANGES IN THE WORK AND/OR SUBSTITUTION OF PRODUCTS, MATERIAL, OR EQUIPMENT, METHODS OF CONSTRUCTION, OR NON-COMPLIANCE WITH CONTRACT DOCUMENTS OR ACCEPTED NATIONAL STANDARDS OF CONSTRUCTION MUST BE DOCUMENTED AND APPROVED IN WRITING, OR THE WORK MAY BE REJECTED AT THE DISCRETION OF THE ARCHITECT OR OWNER.

NON-COMPLIANT WORK: WORK NOT IN COMPLIANCE WITH THE CONTRACT DOCUMENTS SHALL BE DEEMED AN "UNAUTHORIZED CHANGE" AND SHALL BE REMOVED AND PROPERLY REPLACED BY THE GENERAL CONTRACTOR IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AT NO EXTRA CHARGE TO THE OWNER OR THEIR AGENTS.

NOTIFICATION OF NON-COMPLIANT WORK: THE UNAUTHORIZED CHANGES MAY BE REJECTED AT THE TIME OF INSTALLATION, SUBSTANTIAL COMPLETION, FINAL COMPLETION, DURING THE WARRANTY PERIOD, OR ANY TIME THEREAFTER.

INDEMNIFICATION: BY ACCEPTING THE TERMS OF THE CONTRACT DOCUMENTS AND AS A CONDITION OF USE OF THE SEALED PLANS USED FOR PERMITS AND CONSTRUCTION, THE GENERAL CONTRACTOR AGREES TO INDEMNIFY AND HOLD HARMLESS THE OWNER, ARCHITECT, SUBCONSULTANTS, AGENTS, SUCCESSORS, HEIRS, AND ASSIGNS FOR ANY AND ALL CLAIMS RELATED TO THE UNAUTHORIZED CHANGES.

DEFINITIONS: FOR PURPOSES OF THIS SECTION, "GENERAL CONTRACTOR" REFERS JOINTLY AND INDIVIDUALLY TO THE GENERAL CONTRACTOR'S FIRM, THE FIRM'S LICENSE HOLDER(S), ALL INDIVIDUALS HOLDING OWNERSHIP IN THE FIRM, THEIR SUCCESSORS, HEIRS, AND ASSIGNS.

01700 CLOSEOUT DOCUMENTS

GENERAL: DELIVER ONE PRINTED COPY AND ONE PDF COPY OF CLOSEOUT DOCUMENTS AT SUBSTANTIAL COMPLETION FOR REVIEW AT LEAST TEN (10) WORKING DAYS PRIOR TO APPLICATION FOR FINAL PAYMENT.

CLOSEOUT DOCUMENTS: PROVIDE CERTIFICATE OF OCCUPANCY, ALL WARRANTIES, USERS MANUAL, WRITTEN MAINTENANCE INSTRUCTIONS FOR ALL MATERIALS AND EQUIPMENT, AND RECORD DOCUMENTS. INCLUDE INDEX FOR CONTENTS AND TABS FOR EACH SECTION.

01720 PROJECT RECORD DOCUMENTS

GENERAL: RECORD DOCUMENTS INCLUDE AS-BUILT PLANS, SUPPLEMENTAL DRAWINGS AND DIAGRAMS, AS-BUILT SPECIFICATIONS, APPROVED SUBMITTALS, AND RECORDS OF ALL CHANGES, INCLUDING BUT NOT LIMITED TO ADDENDA AND CHANGE ORDERS. DELIVER PRINTED COPIES AND PDF COPY OF CLOSEOUT DOCUMENTS PRIOR TO APPLICATION FOR FINAL PAYMENT.

EXECUTION: THE CONTRACTOR SHALL MAINTAIN AND REGULARLY UPDATE 'AS-BUILT' DRAWINGS AND SHOP DRAWING/SUBMITTAL FILE INDICATING EXACT LOCATIONS, MATERIAL, EQUIPMENT, ETC., AS INSTALLED. INCLUDE LOCATIONS OF BURIED SLEEVES, HIDDEN PIPING AND CONDUITS, SIZES, ETC. NOT SPECIFICALLY SHOWN ON THE DRAWINGS. KEEP ONE SET OF RECORD DOCUMENTS AT THE SITE FOR THE DURATION OF CONSTRUCTION. DO NOT USE RECORD DOCUMENTS FOR DAILY CONSTRUCTION USE. CLEARLY IDENTIFY, DATE, AND INITIAL ALL CHANGES WITH A RED PENCIL ON THE PLANS, SPECIFICATIONS, AND SUBMITTALS. TRANSFER ALL CHANGES TO THE FINAL AS-BUILT DOCUMENTS USING TYPED NOTATIONS IN DIGITAL FORMAT AT THE COMPLETION OF CONSTRUCTION.

01730 OPERATION AND MAINTENANCE DATA

PROVIDE MANUFACTURERS' OPERATION AND MAINTENANCE MANUALS FOR ALL EQUIPMENT, FIXTURES, AND ALL MATERIALS REQUIRING MAINTENANCE AS PART OF THE CLOSEOUT DOCUMENTS.

01740 WARRANTY

GENERAL: THE CONTRACTOR SHALL GUARANTEE AND WARRANT THAT ALL WORK EXECUTED UNDER THE CONTRACT WILL BE FREE FROM DEFECT IN MATERIALS AND WORKMANSHIP FOR A PERIOD OF NOT LESS THAN ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE.

SPECIAL WARRANTIES: THE TERMS OF EXTENDED AND SPECIAL WARRANTIES ARE LISTED IN OTHER SECTIONS OF THESE SPECIFICATIONS.

01750 PUNCHLIST

GENERAL: NOT LESS THAN 10 WORKING DAYS PRIOR TO APPLICATION FOR PAYMENT AT TIME OF SUBSTANTIAL COMPLETION, THE CONTRACTOR SHALL DELIVER A TYPED, DETAILED PUNCHLIST IN DIGITAL FORMAT.

PUNCHLIST REQUIREMENTS: THE CONTRACTORS PUNCHLIST SHALL IDENTIFY ALL KNOWN ITEMS INCOMPLETE OR INCORRECT ITEMS AT THE TIME OF SUBSTANTIAL COMPLETION, LISTING THE REMAINING WORK ROOM BY ROOM, AREA BY AREA, AND TRADE BY TRADE.

COMPLETION SCHEDULE: THE PUNCHLIST SHALL INCLUDE THE SCHEDULED COMPLETION DATE FOR EACH ITEM.

PAYMENTS: FURTHER PAYMENTS TO THE CONTRACTOR WILL BE WITHHELD UNTIL A COMPLETE PUNCHLIST IS RECEIVED.

INCOMPLETE PUNCHLIST: IN THE EVENT THE CONTRACTORS PUNCHLIST IS INCOMPLETE, ADDITIONAL PUNCHLIST ITEMS IN ACCORDANCE WITH THE CONTRACT DOCUMENTS MAY BE ADDED BY THE ARCHITECT AND/OR OWNER. THE CONTRACTOR SHALL INCORPORATE THESE ITEMS INTO HIS WRITTEN PUNCHLIST.

01760 SUBSTANTIAL COMPLETION

SUBSTANTIAL COMPLETION: THE DATE OF SUBSTANTIAL COMPLETION IS THE DATE A PERMANENT CERTIFICATE OF OCCUPANCY IS RECEIVED FROM THE BUILDING OFFICIAL AND ENTERED INTO PUBLIC RECORDS, AND, THE PROJECT IS SUBSTANTIALLY READY FOR FULL OCCUPANCY OF ALL AREAS BY THE OWNER.

MINOR INCOMPLETE OR INCORRECT ITEMS SHALL BE IDENTIFIED ON THE CONTRACTORS PUNCHLIST PRIOR TO APPLICATION FOR SUBSTANTIAL COMPLETION, AND THE CONTRACTOR IS ALLOWED 30 DAYS FROM THE DATE OF SUBSTANTIAL COMPLETION TO THE DATE OF FINAL COMPLETION TO COMPLETE ALL PUNCHLIST WORK.

01780 FINAL COMPLETION

FINAL COMPLETION: THE DATE OF FINAL COMPLETION IS THE DATE ALL PUNCHLIST WORK AND CLEANING IS COMPLETED AND ACCEPTED BY THE OWNER AND ARCHITECT. ALL CLOSEOUT DOCUMENTS AND RECORD DOCUMENTS MUST BE DELIVERED PRIOR TO FINAL ACCEPTANCE.

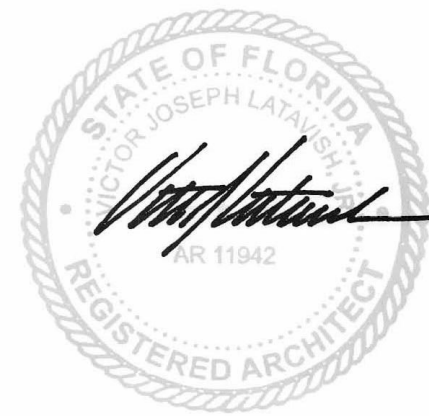


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ISSUE & REVISION DATES

REVIEW	03-13-2025
ISSUED	06-16-2025



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SIGNED AND SEALED BY DESIGN
PROFESSIONAL IN ACCORDANCE WITH
F.S. CHAPTER 481.



Addition and Alterations to the

The Bargain Basket

750 Bald Eagle Drive
Marco Island, Florida 34145

General Conditions

PROJECT NUMBER 24-680

SHEET NUMBER G-0.3



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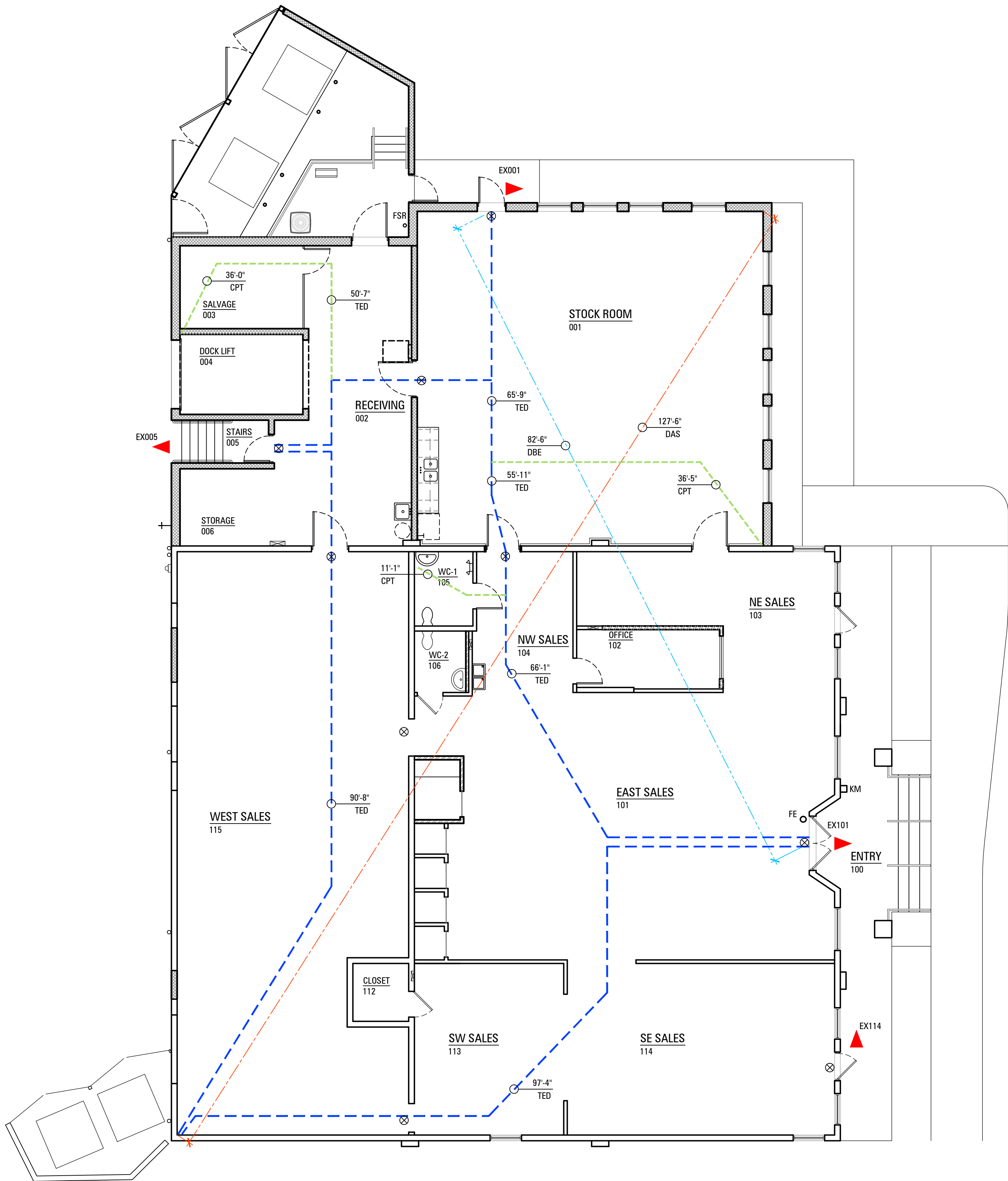
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SAFEGUARDS DURING CONSTRUCTION

- EXISTING BUILDING WILL BE OCCUPIED BY OWNER THROUGHOUT DURATION OF CONSTRUCTION.
- CONTRACTOR SHALL PROVIDE SAFEGUARDS DURING CONSTRUCTION IN ACCORDANCE WITH FLORIDA BUILDING CODE 7TH EDITION CHAPTER 32 SAFEGUARDS DURING CONSTRUCTION AND NFPA 101 FLORIDA EDITION LIFE SAFETY CODE INCLUDING CHAPTER 16 SAFEGUARDS DURING CONSTRUCTION
- CONDUCT A PRE-CONSTRUCTION CONFERENCE WITH LOCAL FIRE OFFICIAL/ AHJ PRIOR TO START OF ANY WORK ONSITE. OBTAIN APPROVALS NECESSARY FOR AHJ TO RELEASE PERMITS.
- ACCESS TO WORK AREAS SHALL BE RESTRICTED TO CONSTRUCTION PERSONNEL, AHJ, INSPECTORS, AND DESIGN PROFESSIONALS. PROVIDE BARRIERS, SIGNS, ETC TO ISOLATE ACTIVE WORK AREAS FROM PUBLIC ACCESS. MAINTAIN CLEAR ACCESS AND EGRESS AT WORK AREAS. MAINTAIN CLEAR ACCESS AND EGRESS AT ADJACENT OCCUPIED AREAS.
- MAINTAIN CLEAR ACCESS FOR EMERGENCY VEHICLES.
- MAINTAIN LIGHTING AND FIRE EXTINGUISHERS AT ALL WORK AREAS.
- REFER TO ENTIRE SET OF CONTRACT DOCUMENTS FOR ADDITIONAL REQUIREMENTS.

LIFE SAFETY PLAN LEGEND

- | | |
|--|--|
| | EMERGENCY LIGHT (EM) AS SPECIFIED |
| | COMBINATION EXIT SIGN AND EM LIGHT AS SPECIFIED, NO SUBSTITUTIONS |
| | TYPE ABC FIRE EXTINGUISHER (FE), 3A:40B:C |
| | FD KEY LOCKBOX (KNOX-BOX) AND RED MALTESE CROSS FD SIGN AS SPECIFIED |
| | EXIT DOOR (NO STEP ALLOWED AT THRESHOLD) |
| | COMMON PATH OF TRAVEL |
| | TOTAL EXIT DISTANCE |
| | DIAGONAL OF AREA SERVED |
| | DIAGONAL BETWEEN EGRESS DOORS |



LIFE SAFETY PLAN

SCALE: 1/8" = 1'-0"

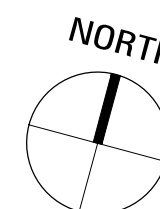


Addition and Alterations to the

The Bargain Basket

750 Bald Eagle Drive
Marco Island, Florida 34145

Life Safety Plan



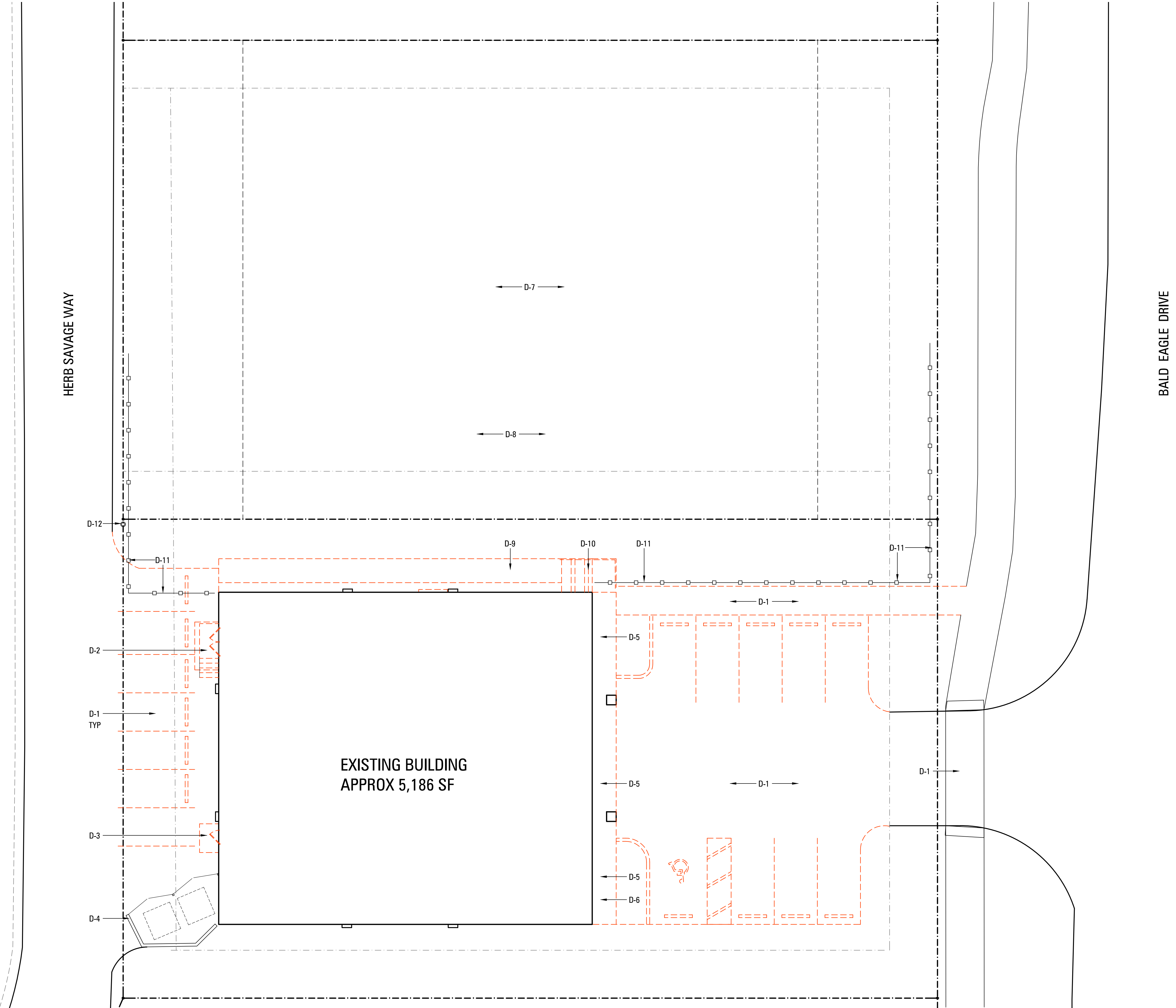
PROJECT NUMBER	24-680
SHEET NUMBER	LS-1.1

DEMOLITION SITE PLAN NOTES

1. FIELD INSPECT EXISTING CONDITIONS. BIDS SHALL INCLUDE ALL CLEARING, DEMOLITION, DEBRIS REMOVAL, LABOR, SUPERVISION, ETC. REQUIRED FOR NEW CONSTRUCTION CONSTRUCTION.
2. MAINTAIN ACCESS TO EXISTING BUILDING DURING PHASE 1 WORK.
3. DO NOT START PHASE 2 WORK UNTIL PHASE 1 IS COMPLETED

SELECTIVE DEMOLITION SITE PLAN KEYNOTES

- D-1 DO NOT REMOVE PAVEMENT OR WALKWAY UNTIL COMPLETION OF BUILDING ADDITION
- D-2 DO NOT REMOVE DOOR, AWNING, OR STAIRS UNTIL COMPLETION OF BUILDING ADDITION
- D-3 DO NOT REMOVE DOOR OR AWNING UNTIL COMPLETION OF BUILDING ADDITION
- D-4 DO NOT REMOVE EXISTING TRASH ENCLOSURE
- D-5 DO NOT REMOVE STRUCTURAL FLOOR SLAB
- D-6 DO NOT REMOVE EXISTING RAILING OR BIKE RACK
- D-7 DO NOT CLEAR SITE UNTIL ENVIRONMENTAL PERMITS ARE ISSUED
- D-8 REMOVE EXISTING TOPSOIL, TREES, AND VEGETATION FROM WORK AREAS
- D-9 REMOVE EXISTING WALKWAY
- D-10 REMOVE EXISTING STAIRS
- D-11 MAINTAIN TEMPORARY CONSERVATION FENCE UNTIL COMPLETION OF PHASE-1 ADDITION
- D-12 EXISTING POWER POLE TO BE REMOVED BY LCEC



SELECTIVE DEMOLITION SITE PLAN

SCALE: 1" = 10'-0"

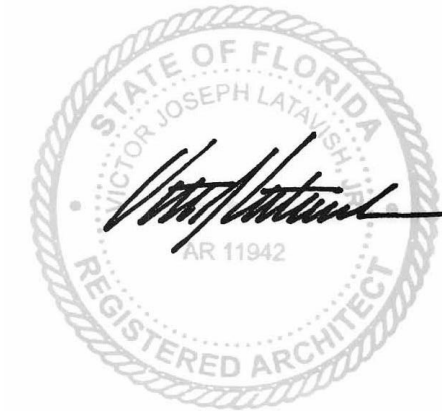


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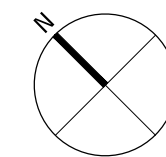


Addition and Alterations to the

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750 Bald Eagle Drive
Marco Island, Florida 34145

Demolition Site Plan



PROJECT NUMBER 24-680

SHEET NUMBER A-0.1

PROPOSED SITE PLAN LEGEND

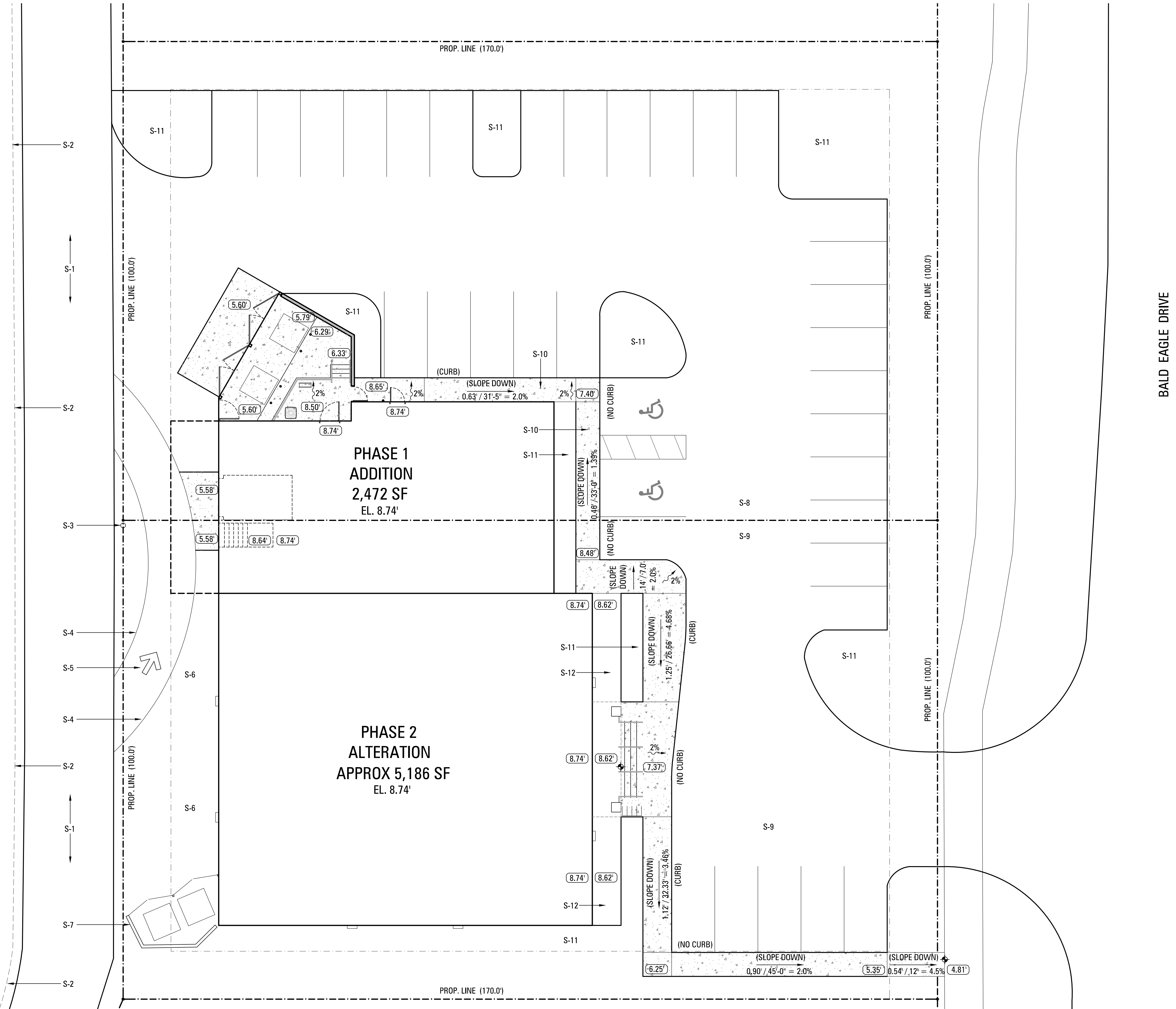
- (8.74') ELEVATION
- ACCESSIBLE ROUTE
SLOPED IN DIRECTION OF TRAVEL (MAX. 5.0%)
- ↗ ACCESSIBLE ROUTE
CROSS SLOPE (MAX. 2.0%)
- ⊕ MATCH EXISTING ELEVATION

SITE PLAN GENERAL NOTES

- FIELD INSPECT EXISTING CONDITIONS. BIDS SHALL INCLUDE ALL LABOR, MATERIAL, SUPERVISION, EQUIPMENT, LANDSCAPING, ETC., REQUIRED FOR COMPLETE, PROPER, CODE-COMPLIANT CONSTRUCTION.
- MAINTAIN ACCESS TO EXISTING BUILDING DURING PHASE 1 WORK.
- DO NOT START PHASE 2 WORK UNTIL PHASE 1 IS COMPLETED
- ACCESSIBLE ROUTES SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (ADA):
 - MAX. 5% SLOPE IN THE DIRECTION OF TRAVEL
 - MAX. 2% CROSS-SLOPE PERPENDICULAR TO DIRECTION OF TRAVEL.
 - MAX. 7 INCH RISER AT PAVEMENT CURBS
 - MAX. 7 INCH RISER AT STAIRS, WITH HANDRAILS BOTH SIDES
 - MAX. 1/4 INCH VERTICAL CHANGE OF HEIGHT AT WALKWAY JOINTS
 - MAX. 1/4 INCH VERTICAL CHANGE AT DOOR THRESHOLDS
- EXTERIOR CONCRETE WALKWAYS, SLABS, AND LANDSCAPED AREAS SHALL BE SLOPED AWAY FROM BUILDINGS.
 - PROVIDE HEAVY-TEXTURE BROOM FINISH AT ALL EXTERIOR CONCRETE SURFACES.
 - PROVIDE 1/2 INCH EXPANSION JOINT WHERE WALKWAYS ABUT BUILDING WALLS AND EXISTING WALKWAYS, STAIRS, AT CHANGES OF DIRECTION, AND NOT MORE THAN 20 FT O.C.
 - PROVIDE SAWCUT CONTROL JOINTS SPACED EQUALLY AT NOT MORE THAN 6 FT O.C.
- CONTROL ONSITE TRAFFIC, PROVIDE TEMPORARY FENCES, BARRICADES, AND SIGNS TO PREVENT PUBLIC ACCESS TO WORK AREAS.
- REMOVE BASE ROCK AND COMPACTED FILL FROM LANDSCAPE AREAS.
- SLOPE GRADES AWAY FROM BUILDING AND STRUCTURES.
- PROVIDE TEMPORARY FENCES, BARRICADES, AND SIGNS TO PREVENT PUBLIC ACCESS TO WORK AREAS.

SITE PLAN KEYNOTES

- S-1 DO NOT BLOCK ROAD OR DRIVEWAYS
- S-2 NO CONSTRUCTION PARKING ALLOWED
- S-3 EXISTING POWER POLE TO BE REMOVED
- S-4 WHITE TRAFFIC STRIPES
- S-5 WHITE TRAFFIC ARROW
- S-6 MAINTAIN EXISTING EGRESS DOORS AND STAIRS UNTIL COMPLETION OF PHASE 1
- S-7 EXISTING TRASH ENCLOSURE TO REMAIN
- S-8 PHASE 1 CONSTRUCTION STAGING AND PARKING
- S-9 PHASE 2 PARKING WORK AFTER COMPLETION OF PHASE 1
- S-10 CONCRETE WALKWAYS
- S-11 LANDSCAPING AREAS
- S-12 EXISTING CONC WALKWAY TO REMAIN



SITE PLAN

SCALE: 1" = 10'-0"



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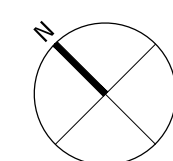
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Addition and Alterations to the
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750 Bald Eagle Drive
Marco Island, Florida 34145

Site Plan



PROJECT NUMBER 24-680
SHEET NUMBER A-0.2



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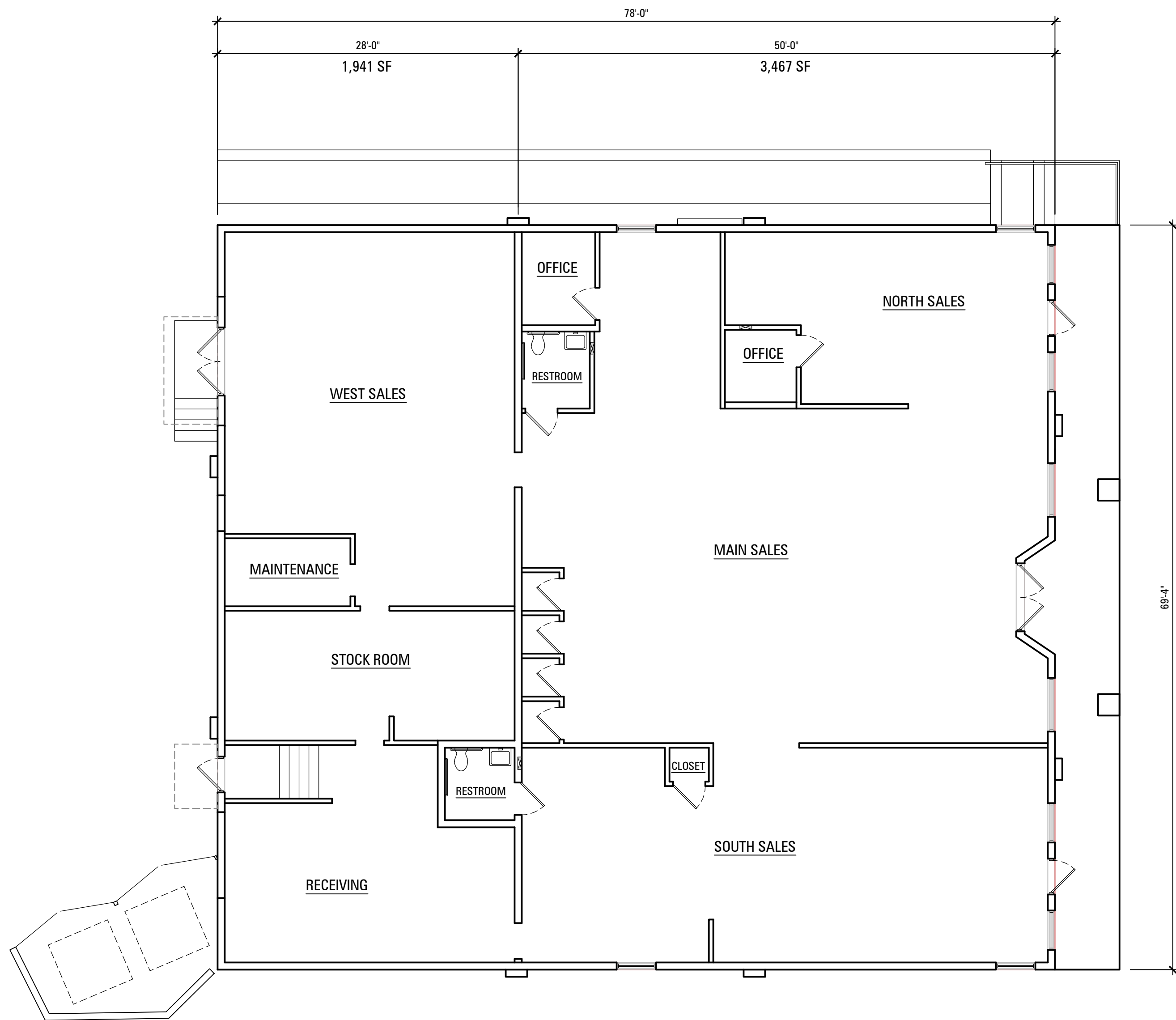
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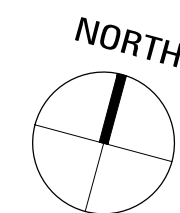
VICTOR J. LATAVISH, AIA
AR 11942

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EXISTING FLOOR PLAN

SCALE: 1/8" = 1'-0"



Addition and Alterations to the
The Bargain Basket
750 Bald Eagle Drive
Marco Island, Florida 34145

Existing Floor Plan

PROJECT NUMBER 24-680
SHEET NUMBER **A-0.3**



SELECTIVE DEMOLITION KEYNOTES

- SD-1

REMOVE DOOR, AWNING, RAILING AND STAIRS AFTER COMPLETION OF BUILDING ADDITION
- SD-2

REMOVE DOOR, AWNING, AND RAILING AFTER COMPLETION OF BUILDING ADDITION
- SD-3

REMOVE EXISTING PARTITIONS AFTER COMPLETION OF BUILDING ADDITION
- SD-4

REMOVE EXISTING SHELVES, BOARDS, CABINETS ETC AFTER COMPLETION OF BUILDING ADDITION
- SD-5

REMOVE EXISTING PLUMBING FIXTURES AND GRAB BARS AFTER COMPLETION OF BUILDING ADDITION
- SD-6

REMOVE EXISTING LAVATORY AFTER COMPLETION OF BUILDING ADDITION
- SD-7

REMOVE PORTIONS OF EXISTING FLOOR AND WALLS AS REQUIRED TO INSTALL NEW FIXTURES
- SD-8

REMOVE PORTION OF EXISTING PARTITION, ETC., AS REQUIRED TO INSTALL NEW DOOR
- SD-9

REMOVE PORTION OF EXISTING PARTITION, ETC., AS REQUIRED TO INSTALL NEW DOOR
- SD-10

REMOVE EXISTING END PARTITION; SUPPORT CEILING FRAMING WITH (3)-2x6 WOOD JOISTS DIRECTLY UNDER EXISTING PLYWOOD DECK & VERTICAL STUDS
- SD-11

REMOVE PORTION OF EXISTING TILE FLOOR AND NOT MORE THAN 3/4" CONCRETE TO INSTALL NEW CONDUITS
- SD-12

REMOVE EXISTING DRESSING ROOM DOORS
- SD-13

REMOVE EXISTING CLOSET AND DOOR, RETAIN EAST WALL
- SD-14

REMOVE EXISTING HOSE BIBB
- SD-15

REMOVE PORTION OF 4'-4" x 7'-4" PORTION OF EXISTING CMU WALL FOR NEW DOOR FRAME
- SD-16

EXISTING CONDENSATE DRAIN TO BE EXTENDED TO NEW FRENCH DRAIN
- SD-17

EXISTING RESTROOM VENT TO BE EXTENDED TO NEW WALL JACK WITH DAMPER
- SD-18

EXISTING FIBER CABLE SERVICE TO BE RELOCATED
- SD-19

EXISTING PHONE SERVICE TO BE COORDINATED WITH OWNER
- SD-20

REMOVE EXISTING ELECTRICAL SERVICE ONLY AFTER NEW SERVICE, METER, DISCONNECTS, CONDUITS AND WIRING ARE COMPLETE
- SD-21

REMOVE PORTION OF 3'-4" x 7'-4" PORTION OF EXISTING CMU WALL AND WINDOW FOR NEW DOOR FRAME
- SD-22

SALVAGE EXISTING CAMERA AND FLOODLIGHTS, FIELD VERIFY LOCATION
- SD-23

EXISTING RESTROOM VENT TO BE EXTENDED TO NEW WALL JACK WITH DAMPER
- SD-24

EXISTING CONDENSATE DRAIN TO BE EXTENDED TO NEW FRENCH DRAIN
- SD-25

EXISTING EMERGENCY CONDENSATE DRAIN TO BE EXTENDED TO EXTERIOR EAST WALL
- SD-26

EXISTING WATER SERVICE TO BE RELOCATED
- SD-27

REMOVE PORTION OF 4'-4" x 7'-4" PORTION OF EXISTING CMU WALL FOR NEW DOOR FRAME
- SD-28

REMOVE EXISTING WALKWAY, STAIRS, RAILING
- SD-29

SALVAGE EXISTING LANDSCAPE IRRIGATION CONTROLS TO BE RELOCATED
- SD-30

EXISTING CAMERA, LIGHTS, AND WP OUTLET TO REMAIN
- SD-31

REMOVE EXISTING CEILING GRID, ACOUSTIC TILES, & CEILING INSULATION THROUGHOUT ENTIRE BUILDING
- SD-32

REMOVE PORTION OF CMU WALL TO PROVIDE 4'-4" WIDE MASONRY OPENING

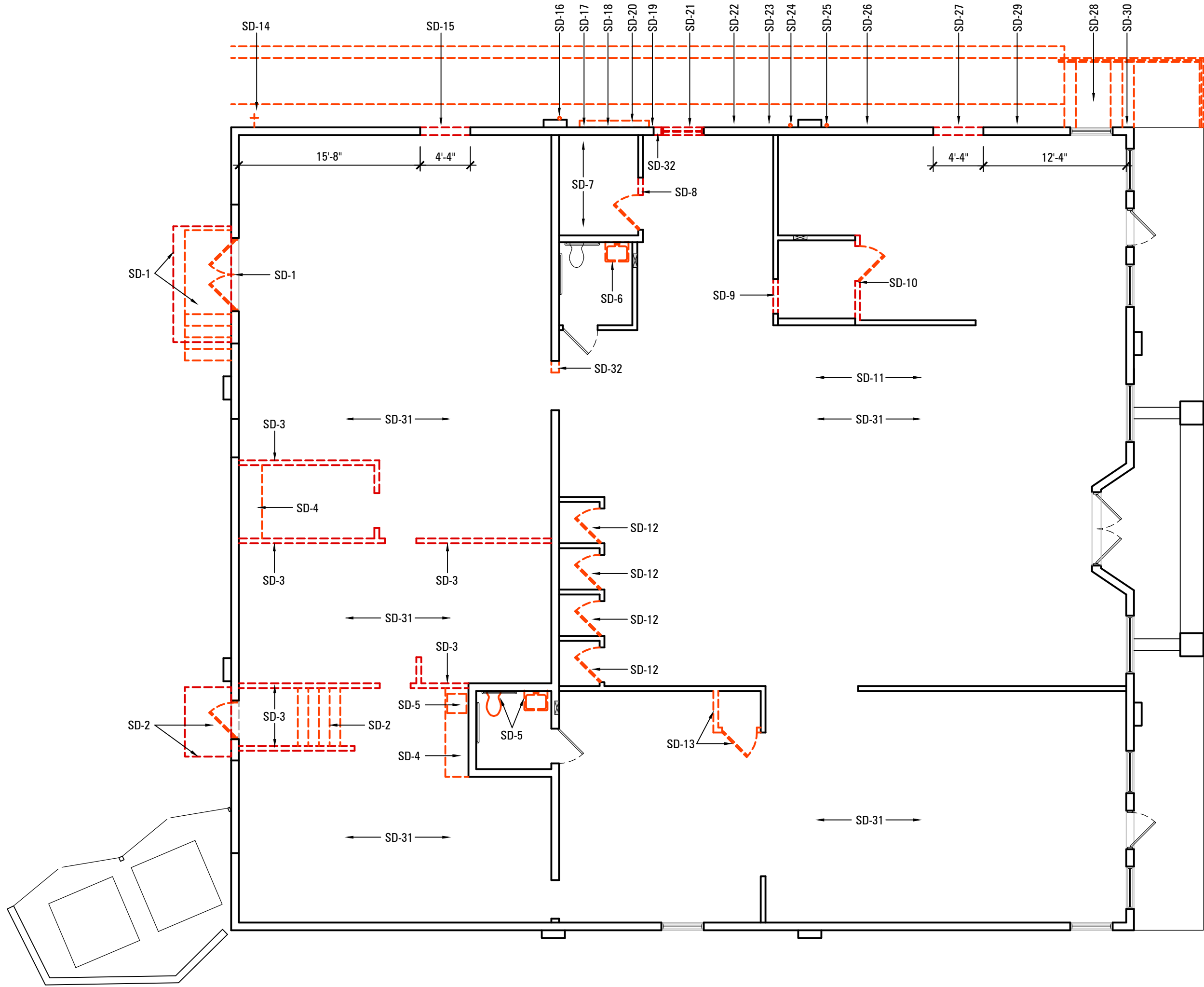
SELECTIVE DEMOLITION PLAN LEGEND

- SD#.##

SELECTIVE DEMOLITION KEYNOTE
- EXISTING TO REMAIN
- REMOVE EXISTING WALL OR PARTITION
- REMOVE EXISTING DOOR, FRAME, HARDWARE

SELECTIVE DEMOLITION GENERAL NOTES

- 1.INSPECT JOBSITE PRIOR TO BID TO EXAMINE AND MEASURE EXISTING CONDITIONS. BIDS SHALL INCLUDE ALL SELECTIVE DEMOLITION WORK REQUIRED FOR PROPER INSTALLATION OF NEW AND RENOVATION WORK INDICATED THROUGHOUT THE CONTRACT DOCUMENTS.
- 2.INTENT OF SELECTIVE DEMOLITION PLAN IS TO PROVIDE GENERAL SCOPE OF WORK. KEYNOTES INDICATE TYPICAL CONDITIONS WHICH MAY OCCUR AT SIMILAR CONDITIONS THROUGHOUT THE PROJECT. REFER TO ENTIRE SET OF DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- 3.PRIOR TO START OF SELECTIVE DEMOLITION WORK, CONDUCT MEETING ONSITE TO IDENTIFY WORK INTENDED TO BE REMOVED, SALVAGED, OR PROTECTED IN PLACE. G.C. IS RESPONSIBLE FOR COORDINATING THE WORK OF ALL TRADES.
- 4.IMMEDIATELY PRIOR TO START OF DEMOLITION WORK, DOCUMENT EACH WORK AREA WITH PHOTOGRAPHS.
- 5.PAVEMENT, TREES, LAWN, ROOFS, BUILDING WALLS, WINDOWS, DOORS, ETC. DAMAGED INADVERTENTLY DURING CONSTRUCTION SHALL BE REPLACED OR REPAIRED TO LIKE-NEW CONDITION.



SELECTIVE DEMOLITION PLAN

SCALE: 1/8" = 1'-0"



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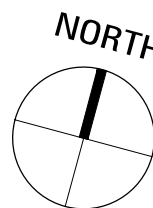


Addition and Alterations to the

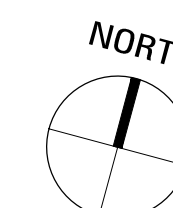
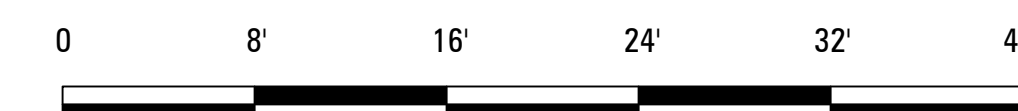
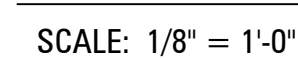
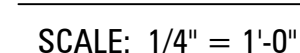
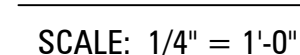
The Bargain Basket

750 Bald Eagle Drive
Marco Island, Florida 34145

Demolition Floor Plan



PROJECT NUMBER	24-680
SHEET NUMBER	A-0.4



REFLECTED CEILING PLAN LEGEND

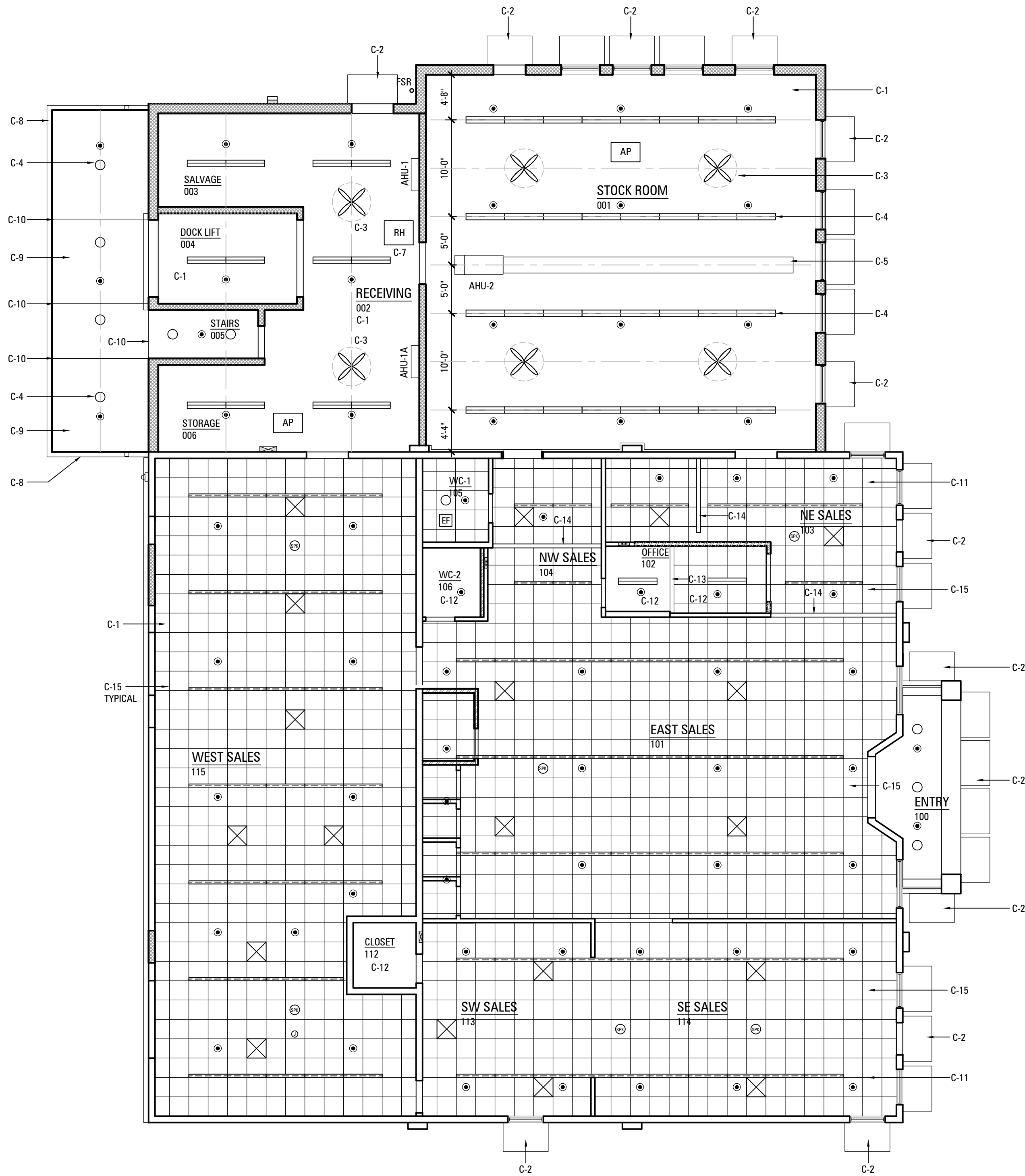
- LINEAR LED PENDANT LIGHT FIXTURE
- LINEAR LED LAY-IN LIGHT FIXTURE
- DOWN LIGHT FIXTURE
- WALL LIGHT FIXTURE
- WALL LIGHT FIXTURE
- CEILING TRACK LIGHT
- EMERGENCY LIGHT FIXTURE
- EXIT SIGN W/ EMERGENCY LIGHT
- EXHAUST FAN
- HVAC DIFFUSER TO REMAIN
- EXISTING SPEAKER TO REMAIN
- CEILING FAN
- FIRE SPRINKLER HEAD
- FSR - FIRE SPRINKLER RISER
- 2'x2' TEGULAR ACOUSTIC TILE CEILING
- RH ROOF HATCH
- AP CEILING ACCESS PANEL

REFLECTED CEILING PLAN GENERAL NOTES

- REFLECTED CEILING PLAN ILLUSTRATES DESIGN INTENT. REFER TO COMPLETE SET OF CONTRACT DOCUMENTS AND COORDINATE WORK OF ALL TRADES TO MAINTAIN NEAT, STRAIGHT, TRUE, AND WELL-ORGANIZED CENTERLINE ALIGNMENTS OF FIXTURES, FIXTURES, GRILLES, DIFFUSERS, INSTALLED IN CEILINGS.
- REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

REFLECTED CEILING PLAN KEYNOTES

- C-1 GYPSUM BOARD CEILING
- C-2 ALUMINUM AWNING
- C-3 CEILING FAN
- C-4 LIGHT FIXTURE
- C-5 METAL HVAC DUCT
- C-6 HVAC UNIT
- C-7 30" x 36" ROOF HATCH
- C-8 ALUMINUM GUTTER
- C-9 SMOOTH CEMENT PLASTER SOFFIT
- C-10 PVC EXPANSION JOINT IN SOFFIT
- C-11 EXISTING SUSPENDED ACOUSTIC CEILING
- C-12 EXISTING GYP BD CEILING
- C-13 (3)-2x6 WOOD BEAM, BOTTOM OF BEAM EQUAL TO GYP BD CEILING
- C-14 EXISTING CEILING SOFFIT
- C-15 REPLACE CEILING GRID, ACOUSTIC TILES, AND LIGHT FIXTURES, CONNECT TO EXISTING LIGHT CIRCUITS



REFLECTED CEILING PLAN

SCALE: 1/8" = 1'-0"

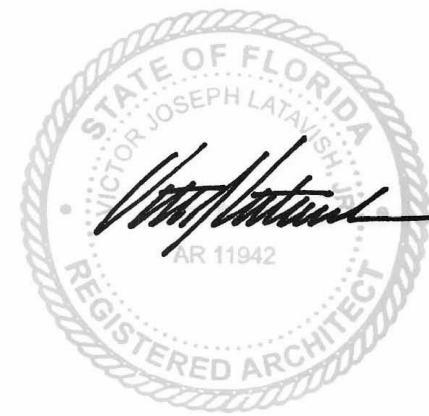


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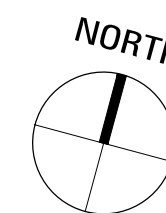


Addition and Alterations to the

The Bargain Basket

750 Bald Eagle Drive
Marco Island, Florida 34145

Ceiling Plan



PROJECT NUMBER 24-680

SHEET NUMBER **A-1.2**



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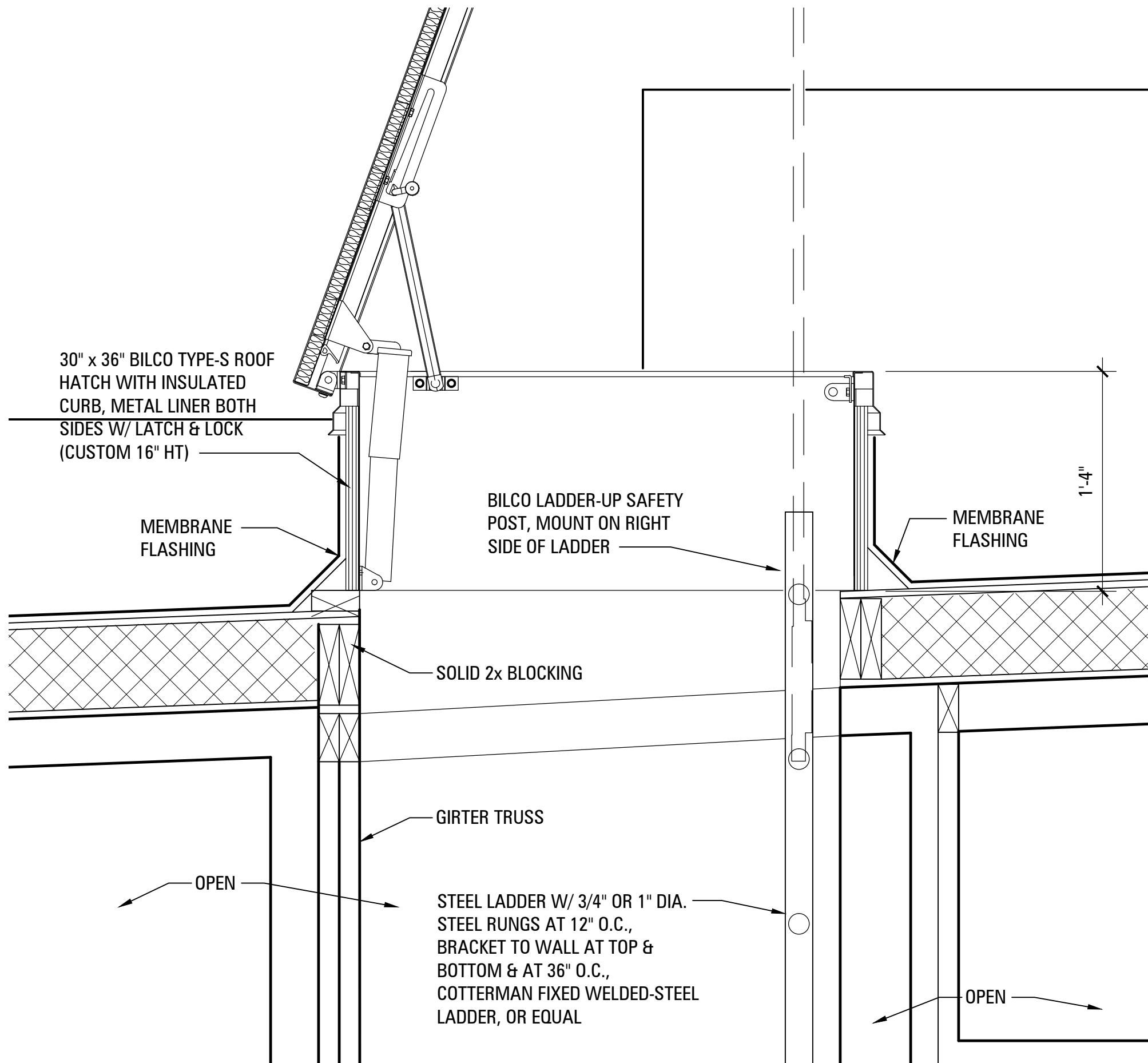


Addition and Alterations to the
The Bargain Basket
750 Bald Eagle Drive
Marco Island, Florida 34145

Roof Plan

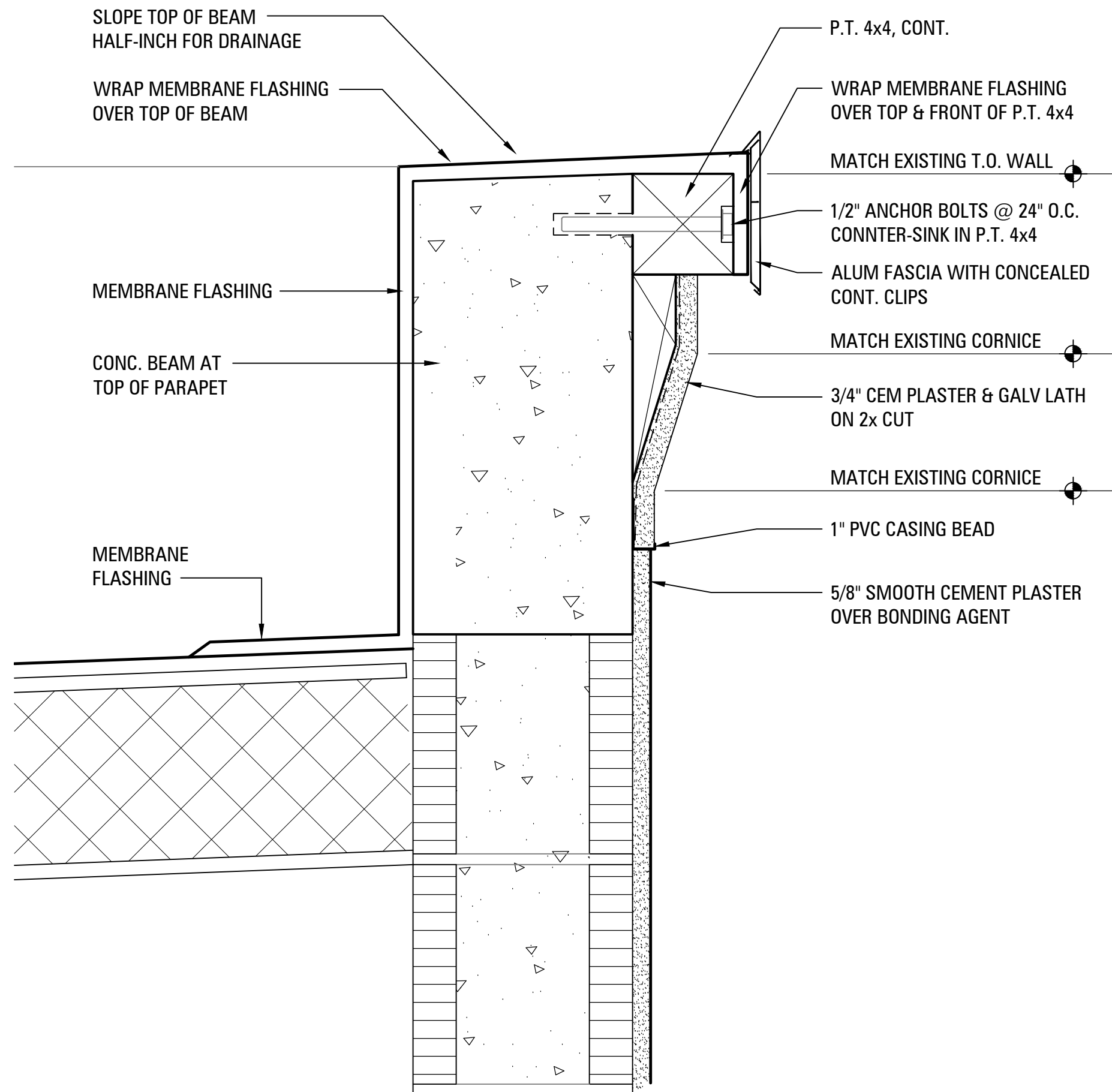


PROJECT NUMBER 24-680
SHEET NUMBER **A-1.3**



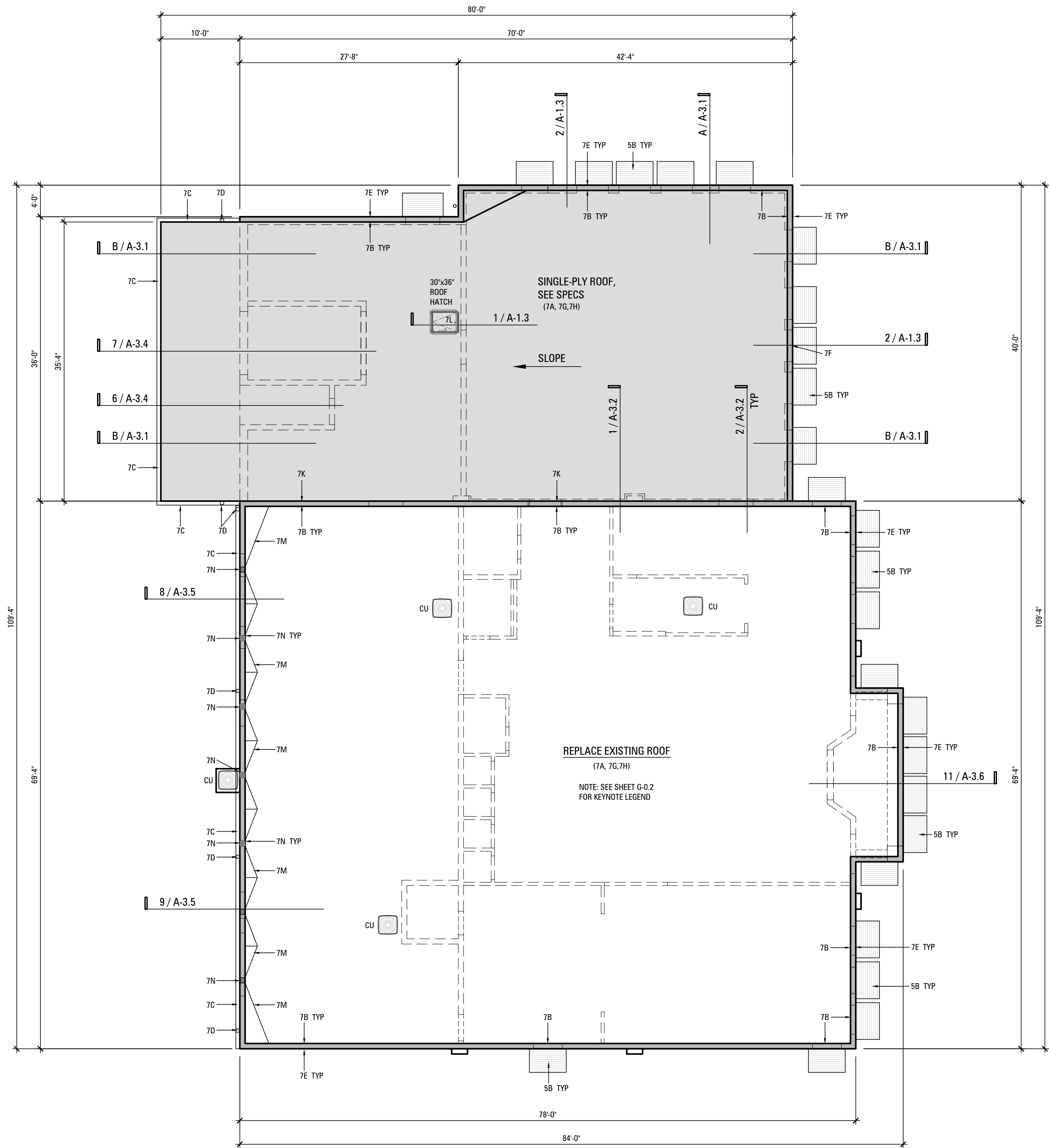
1 ROOF HATCH DETAIL

SCALE: 1-1/2" = 1'-0"



2 CORNICE & FASCIA DETAIL

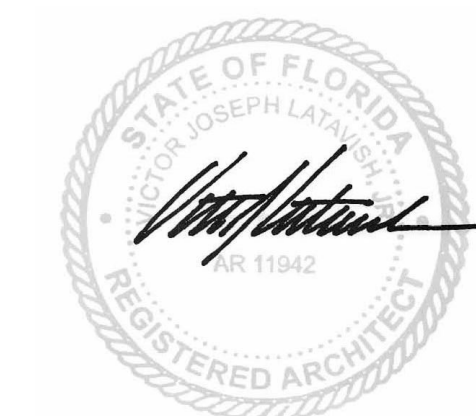
SCALE: 3" = 1'-0"



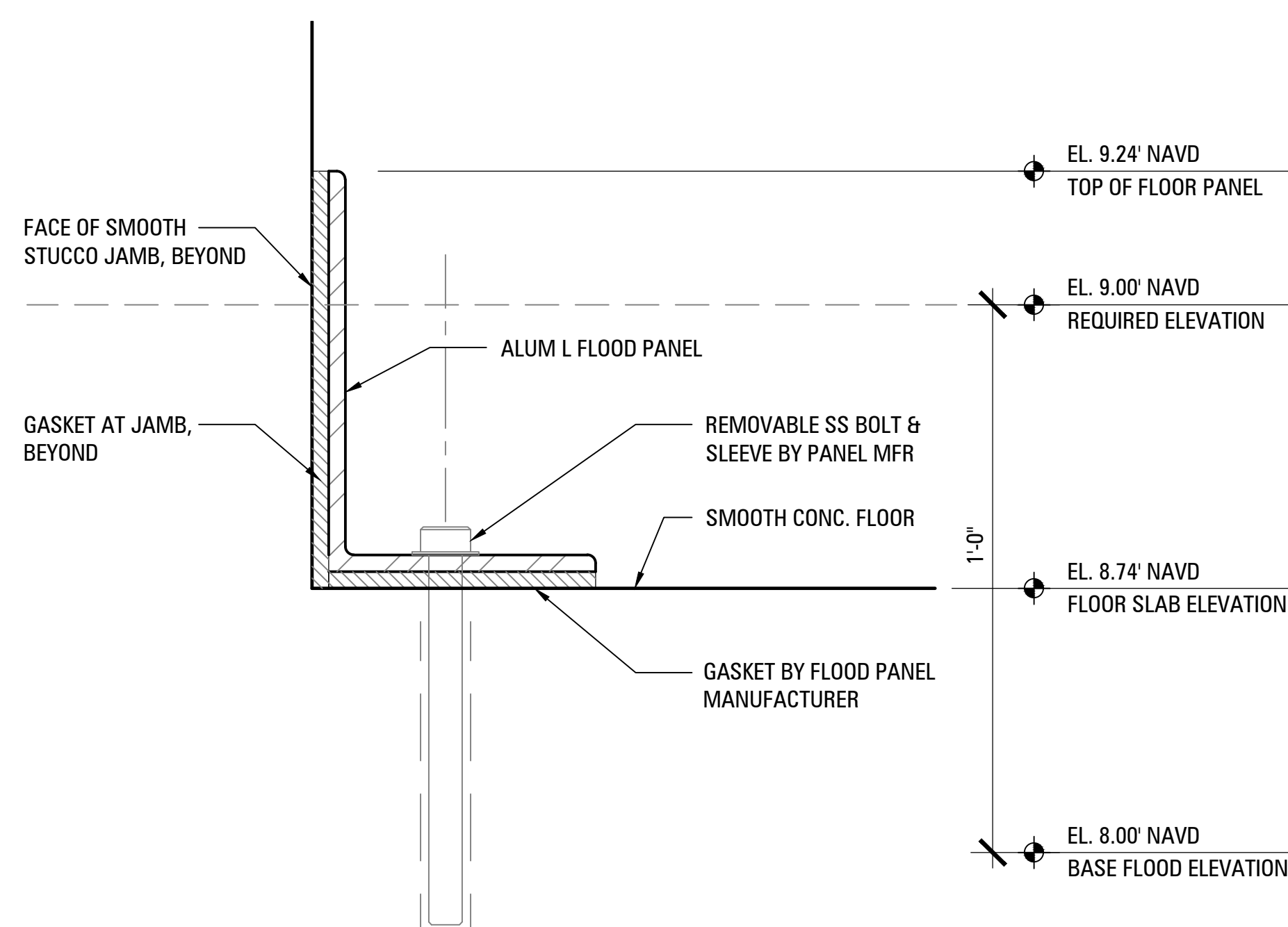
ROOF PLAN

SCALE: 1/8" = 1'-0"

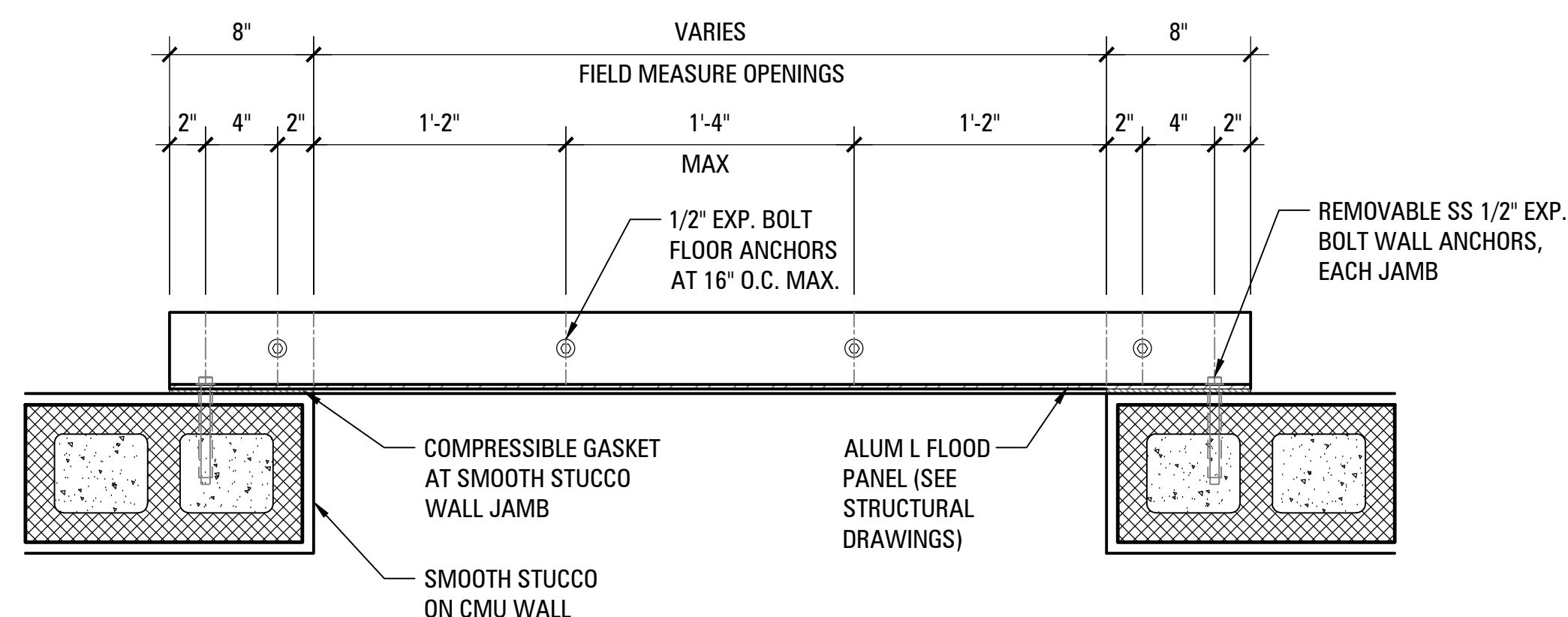




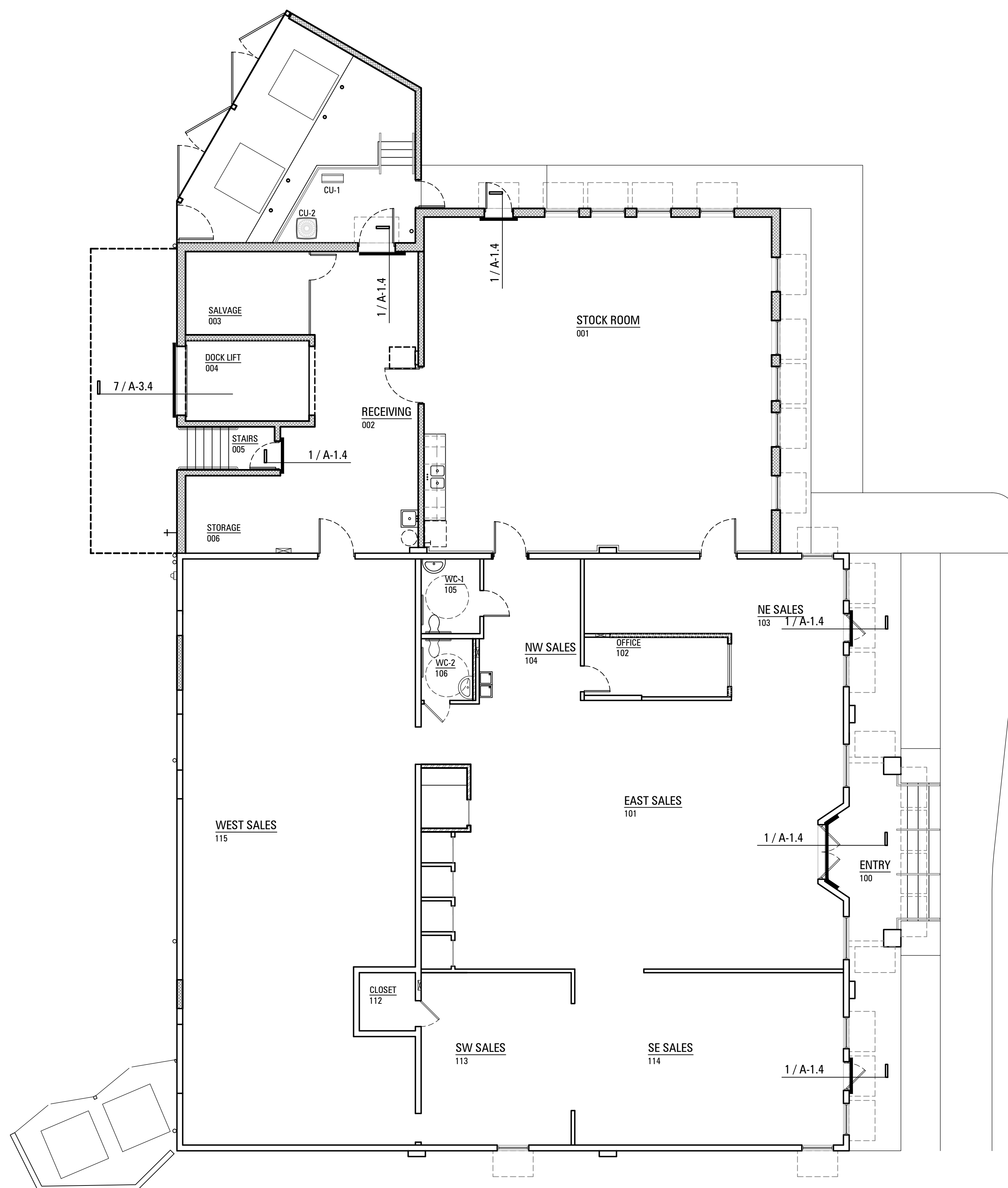
1. PREPARE OPENINGS AS REQUIRED BY FLOOD BARRIER MANUFACTURER, BUT NOT LESS THAN AS FOLLOWS: CONCRETE FLOOR SURFACE AT BARRIERS SHALL BE SMOOTH, CLEAN, FLAT, TRUE AND LEVEL WITHIN 1/32 INCH FOR LENGTH OF BARRIER. CONCRETE PLASTER FINISH WALLS AT BARRIERS SHALL BE SMOOTH, CLEAN, PLUMB, TRUE AND STRAIGHT WITHIN 1/32" INCH FOR HEIGHT OF BARRIER.
2. PROVIDE FEMA COMPLIANT FLOOD BARRIERS AT ALL EXTERIOR DOOR OPENINGS. REFER TO PLANS FOR LOCATIONS. REFER TO DETAILS FOR BASE FLOOR ELEVATION, FLOOR ELEVATION, AND REQUIRED BARRIER ELEVATION. INCLUDE REMOVABLE BARRIERS, GASKETS, CONNECTORS, INSTRUCTIONS, INSTALLATION TOOLS, AND NECESSARY ACCESSORIES.
3. FURNISH SHOP DRAWINGS AND ENGINEERING FOR FLOOD BARRIERS WITH PROJECT NAME, ADDRESS, DATE, AND SEALED PE CERTIFICATION INDICATING COMPLIANCE WITH FBC AND FEMA REQUIREMENTS. SHOP DRAWINGS SHALL INCLUDE GASKETS, CONNECTORS, AND MANUFACTURERS REQUIRED SUBSTRATE TOLERANCES.
4. IDENTIFY BARRIERS AND CORRESPONDING OPENINGS WITH PERMANENT ENGRAVED LABELS WITH 1" ENGRAVED TEXT ON BLACK COLOR LABELS PERMANENTLY AFFIXED TO PANEL AND OPENING JAMB.
5. INSTALL REMOVABLE FLOOD BARRIERS FOR INSPECTION BY PERMIT AUTHORITIES. AFTER INSPECTION AND ACCEPTANCE, PLACE REMOVABLE HARDWARE AND TOOLS IN METAL TOOLBOX WITH ENGRAVED LABEL "FLOOD PANEL HARDWARE." STORE BARRIERS AND TOOL BOX ON PT DUNNAGE NEAR DOCK LIFT.
6. INSPECT NEW AND EXISTING FLOORS AND WALLS. SEAL ALL VISIBLE CRACKS, OPENINGS, AND PENETRATIONS IN FLOORS AND EXTERIOR WALLS WITH EPOXY OR EPOXY GROUT. PROVIDE NOT LESS THAN 1 PRIMER COAT AND 2 TOP COATS SW SUPERPAINT FULL HEIGHT ALL EXTERIOR WALLS.



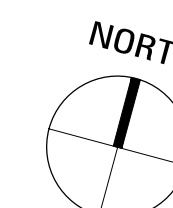
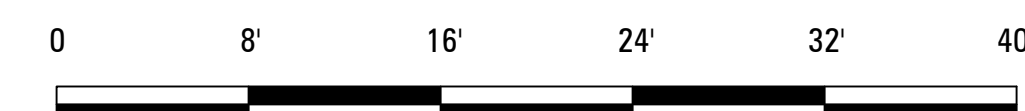
SCALE: 6" = 1'-0"



SCALE: 1-1/2" = 1'-0"



SCALE: 1/8" = 1'-0"





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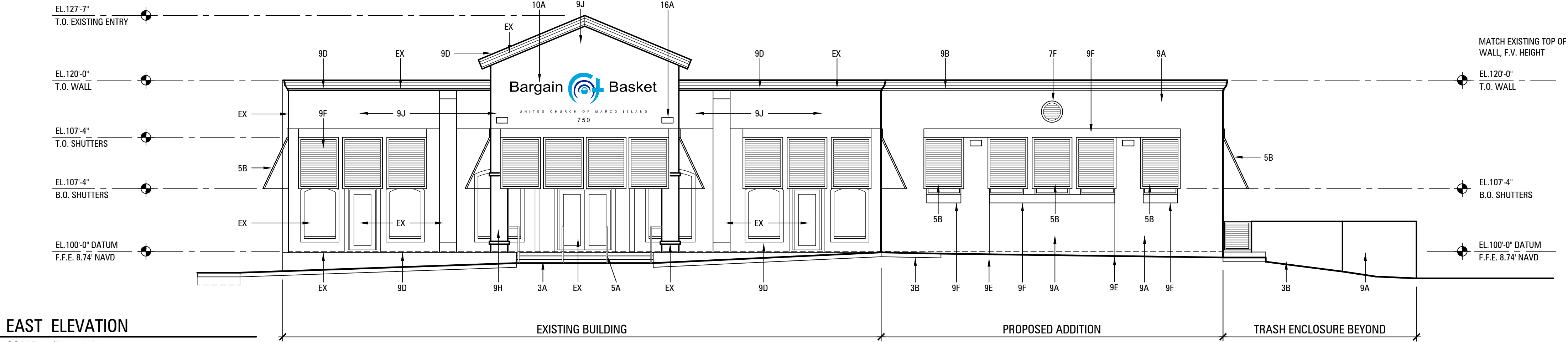
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ELEVATION KEYNOTES

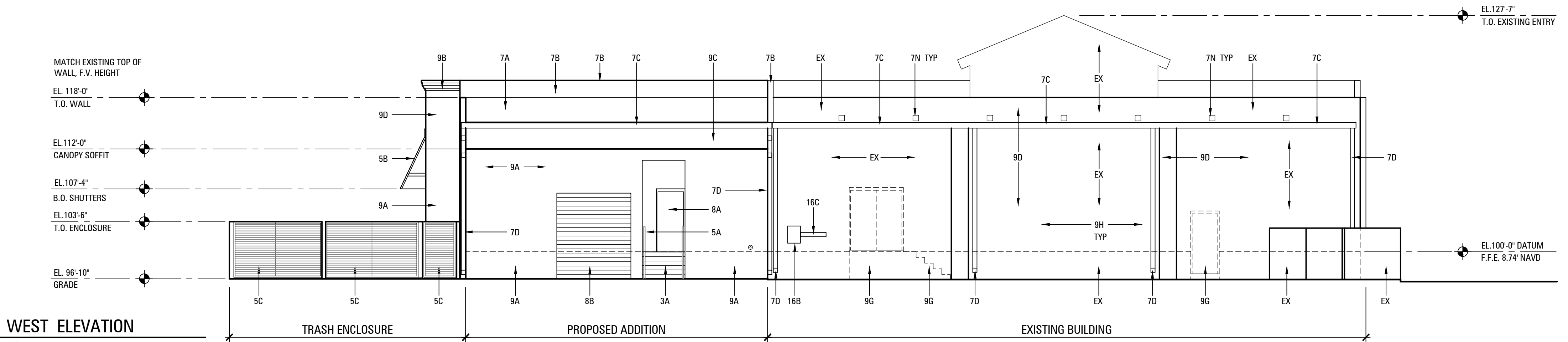
- EX EXISTING CONSTRUCTION
- 3A CONCRETE STAIRS
- 3B GRADE VARIES, SEE SITE PLANS
- 5A ALUMINUM HANDRAIL
- 5B ALUMINUM LOUVER SHUTTER
- 5C ALUMINUM GATE
- 7A ROOF MEMBRANE, SEE SPECS
- 7B MEMBRANE FLASHING, SEE SPECS
- 7C ALUMINUM GUTTER
- 7D ALUMINUM DOWNSPOUT
- 7E ALUMINUM FASCIA
- 7F 30 IN DIA ALUMINUM LOUVER
- 7G COVER BOARD
- 7M CRICKET
- 7N SCUPPER FLASHING
- 8A PAINTED GALVANIZED HM DOOR AND FRAME
- 8B PAINTED GALVANIZED OVERHEAD ROLLING DOOR
- 9A PAINTED SMOOTH CEMENT PLASTER OVER CMU
- 9B PAINTED SMOOTH CEMENT PLASTER CORNICE TO MATCH EXISTING
- 9C PAINTED SMOOTH CEMENT PLASTER OVER GALVANIZED LATH
- 9D PAINT FINISH
- 9E PVC EXPANSION JOINT
- 9F PAINTED 1" SMOOTH CEMENT PLASTER TRIM
- 9G PAINTED CEMENT PLASTER, FINISH TO MATCH EXISTING
- 9H PATCH EXISTING WALL, HOLES, ETC., TYPICAL
- 9J REMOVE EXISTING SIGNS AND SURROUND TRIM, PATCH WALL, PROVIDE NEW PAINTED SMOOTH CEMENT PLASTER
- 10A SIGN, SEE DETAIL
- 16A LIGHT FIXTURE
- 16B EL METER
- 16C EL SWITCHGEAR
- 21A FIRE SPRINKLER RISER

NOTE: KEYNOTES INDICATE TYPICAL MATERIALS AND CONDITIONS
WHICH OCCUR THROUGHOUT THE WORK



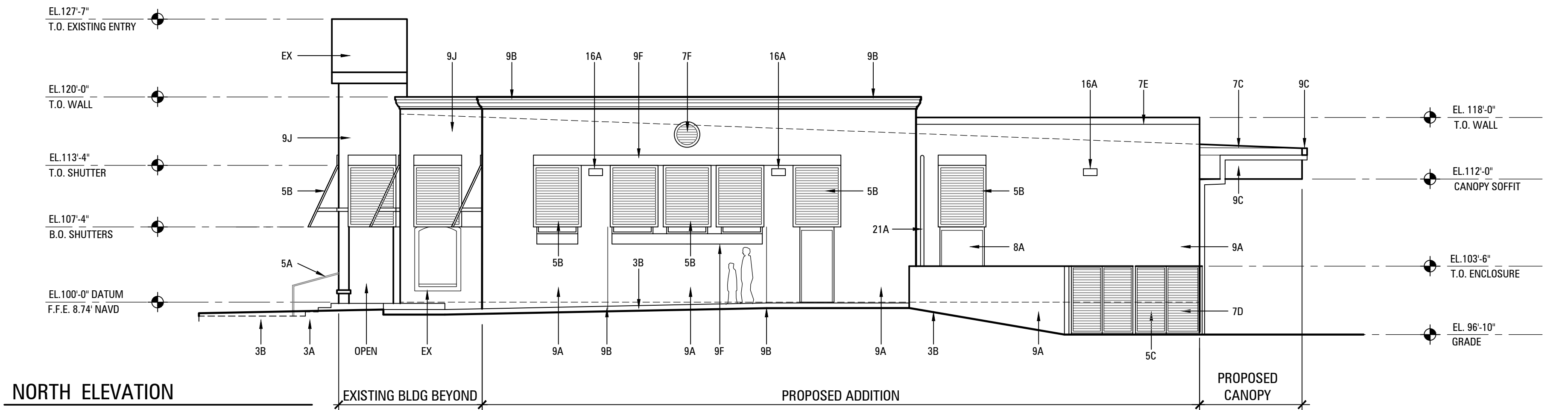
EAST ELEVATION

SCALE: 1/8" = 1'-0"



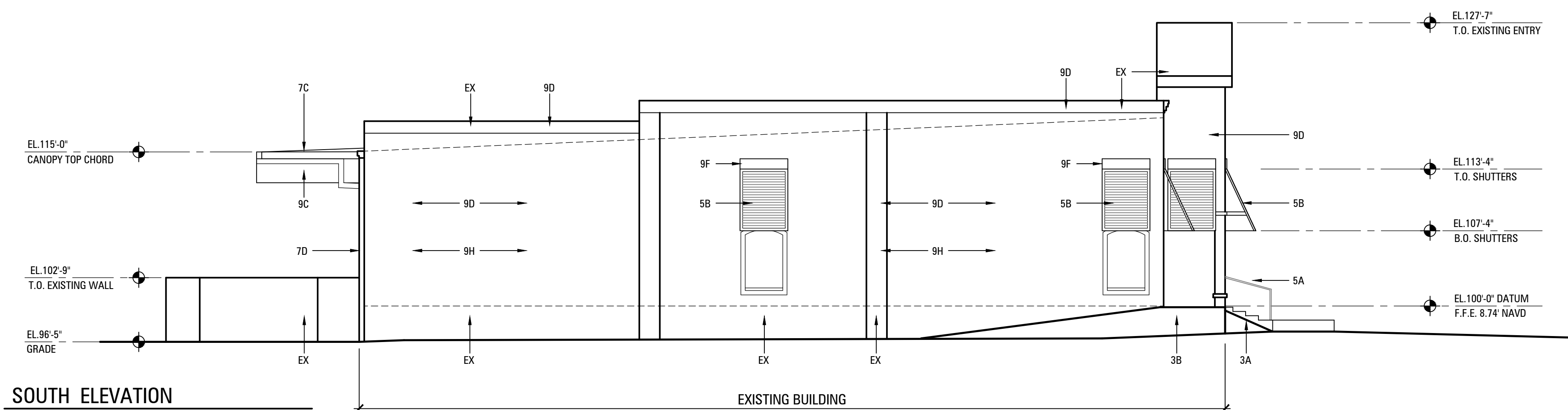
WEST ELEVATION

SCALE: 1/8" = 1'-0"



NORTH ELEVATION

SCALE: 1/8" = 1'-0"



SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

Building Areas

Exist. Bldg.	5,385 SF
Proposed Addition	2,690 SF
Total Area	8,075 SF



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Exterior Elevations

PROJECT NUMBER 24-680
SHEET NUMBER A-2.1



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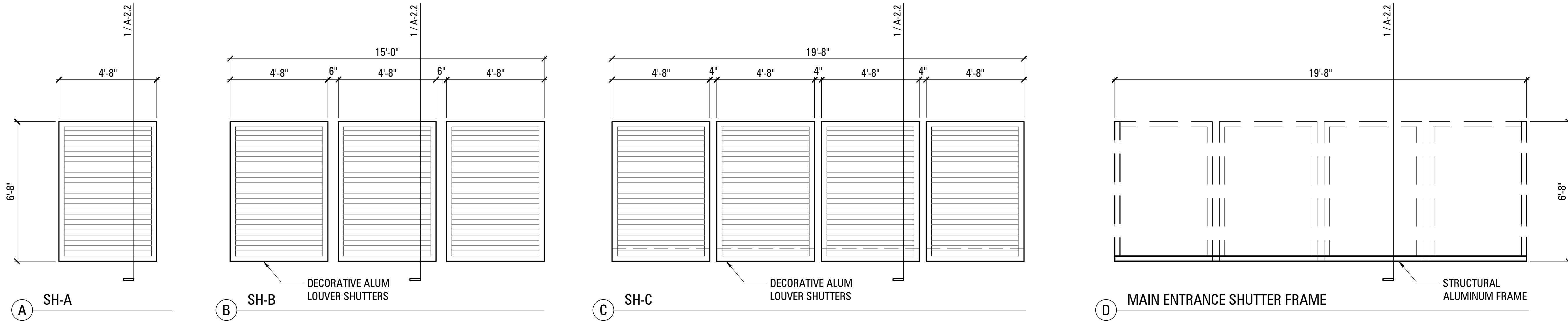
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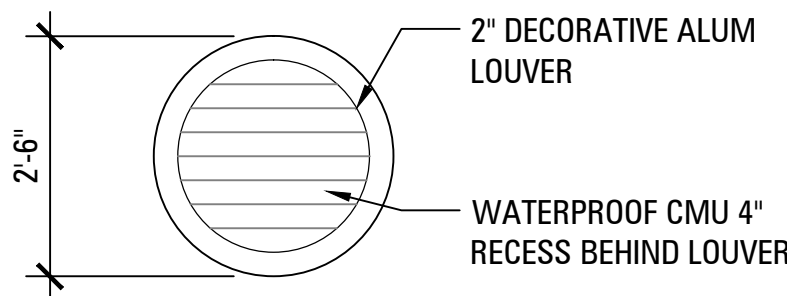
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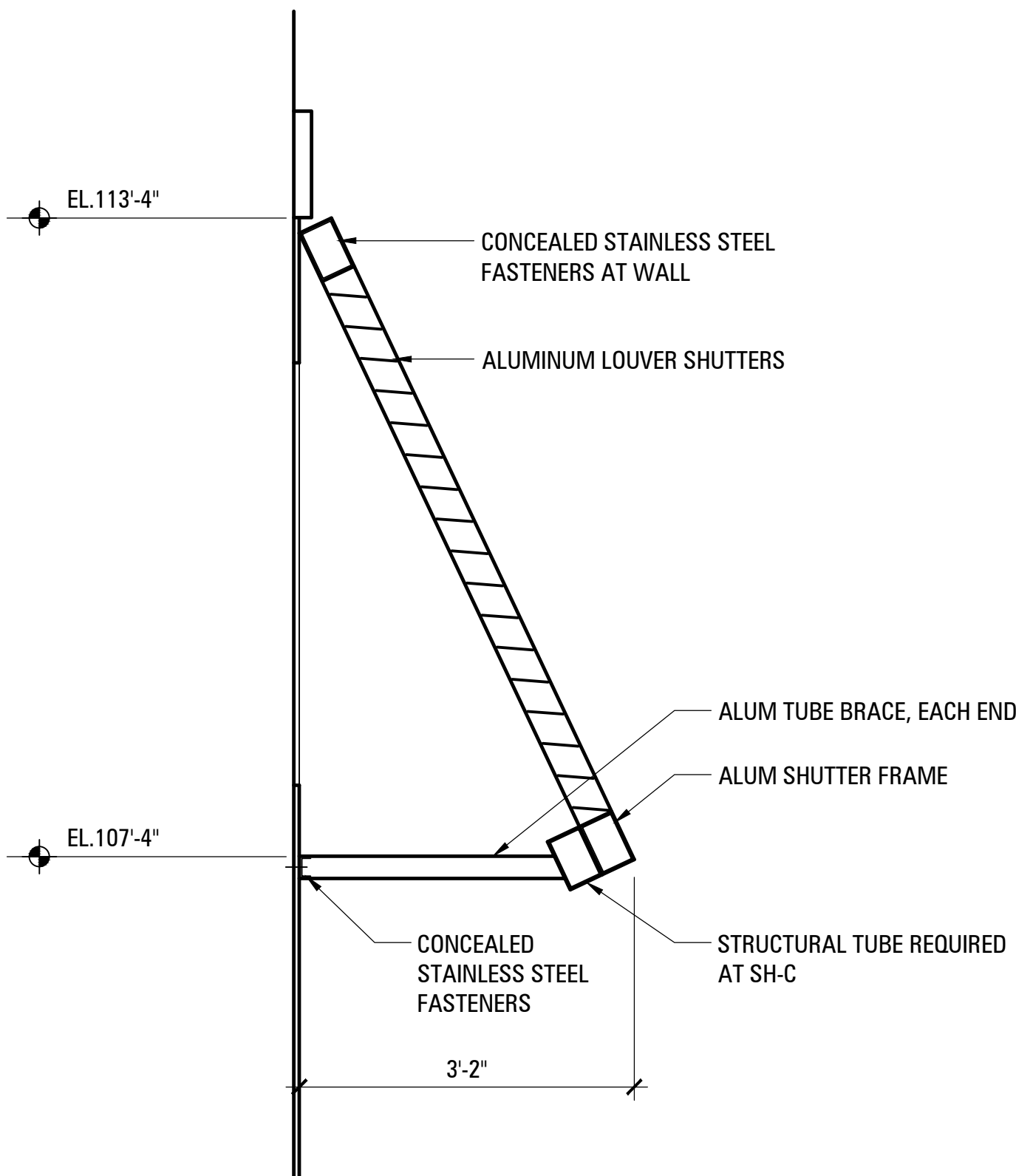
SHUTTER DETAILS

SCALE: 3/8" = 1'-0"



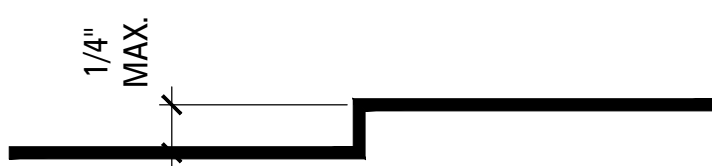
LOUVER DETAIL

SCALE: 3/8" = 1'-0"

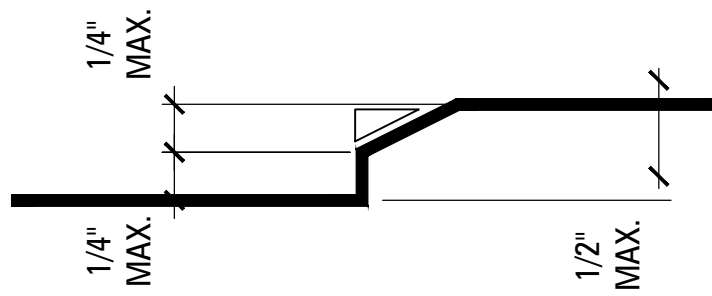


TYPICAL BAHAMA SHUTTER DETAIL

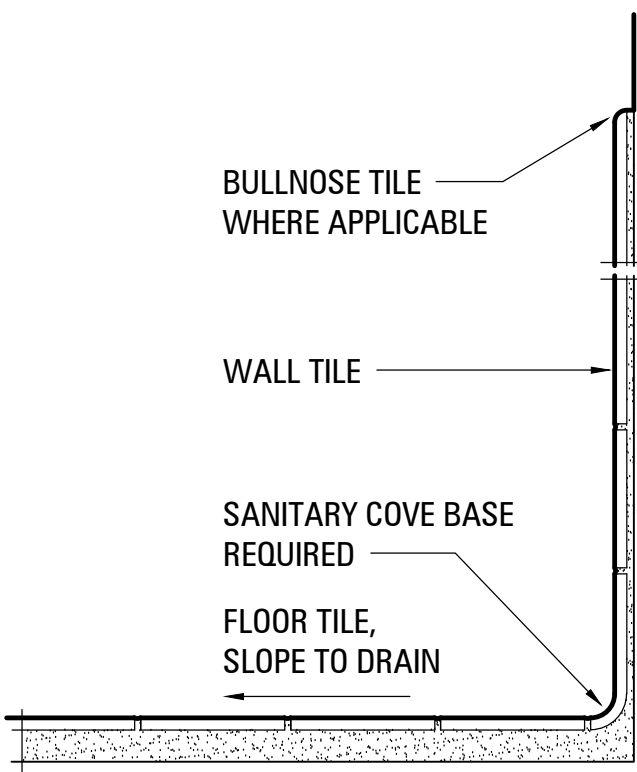
3/4" = 1'-0"



VERTICAL CHANGE IN LEVEL



BEVELED CHANGE IN LEVEL



TYPICAL TILE BASE DETAIL

FINISH SCHEDULE

SPACE NO.	ROOM NAME	FLOOR	BASE	WALL	CEILING	NOTES
001	STOCK ROOM	CONC.	NONE	CMU	GYP. BD.	1, 2, 3, 6, 7
002	RECEIVING	CONC.	NONE	CMU	GYP. BD.	1, 2, 3
003	SALVAGE	CONC.	NONE	CMU	GYP. BD.	1, 2, 3
004	DOCK LIFT	CONC.	NONE	CMU	GYP. BD.	1, 2, 3
005	STAIRS	CONC.	NONE	CEMENT PLASTER	CEMENT PLASTER	1, 2, 4
006	STORAGE	CONC.	NONE	CMU	GYP. BD.	1, 2, 3
100	ENTRY	EXISTING	NONE	EXISTING	ACOUSTIC TILE	2, 4
101	EAST SALES	EXISTING	NONE	EXISTING	ACOUSTIC TILE	5
102	OFFICE	EXISTING	VINYL	GYP. BD.	EXISTING	2, 8
103	NE SALES	EXISTING	VINYL	GYP. BD.	ACOUSTIC TILE	5, 8
104	NW SALES	EXISTING	VINYL	EXISTING	ACOUSTIC TILE	
105	WC-1	CER. TILE	CER. TILE	EXISTING	ACOUSTIC TILE	2
106	WC-2	EXISTING	CER. TILE	GYP. BD.	EXISTING	2, 8
107	DRESSING-1	EXISTING	MATCH EXISTING	GYP. BD.	ACOUSTIC TILE	2, 8, 10
108	DRESSING-2	EXISTING	MATCH EXISTING	GYP. BD.	ACOUSTIC TILE	2
109	DRESSING-3	EXISTING	MATCH EXISTING	GYP. BD.	ACOUSTIC TILE	2
110	DRESSING-4	EXISTING	MATCH EXISTING	GYP. BD.	ACOUSTIC TILE	2
111	DRESSING-5	EXISTING	MATCH EXISTING	GYP. BD.	ACOUSTIC TILE	2
112	CLOSET	EXISTING	EXISTING	EXISTING	EXISTING	
113	SW SALES	EXISTING	EXISTING	EXISTING	ACOUSTIC TILE	
114	SE SALES	EXISTING	EXISTING	EXISTING	ACOUSTIC TILE	
115	WEST SALES	EXISTING	VINYL	GYP. BD.	ACOUSTIC TILE	2

- NOTES :
- CONC FLOOR WITH DUST-PROOF HARDENER SEALER AND POLISH FINISH
 - PAINT ALL WALLS
 - PAINT GYPSUM BOARD CEILINGS
 - PAINT CEMENT PLASTER CEILINGS
 - PAINT NEW GYPSUM BOARD WALLS FROM CORNER TO CORNER
 - FRP FACED PLYWOOD 8'-0" HT, SOUTH WALL ONLY
 - VINYL BASE, SOUTH WALL ONLY
 - NEW GYPSUM BOARD WHERE INDICATED
 - 2x2' TEGULAR EDGE ACOUSTIC TILE, TYPICAL
 - NEW PARTITION HEIGHT TO MATCH EXISTING DRESSING ROOM PARTITION HEIGHT



Addition and Alterations to the

The Bargain Basket

750 Bald Eagle Drive
Marco Island, Florida 34145

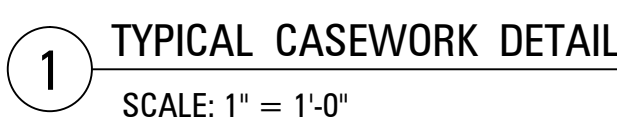
Room Finish Schedule



PROJECT NUMBER 24-680

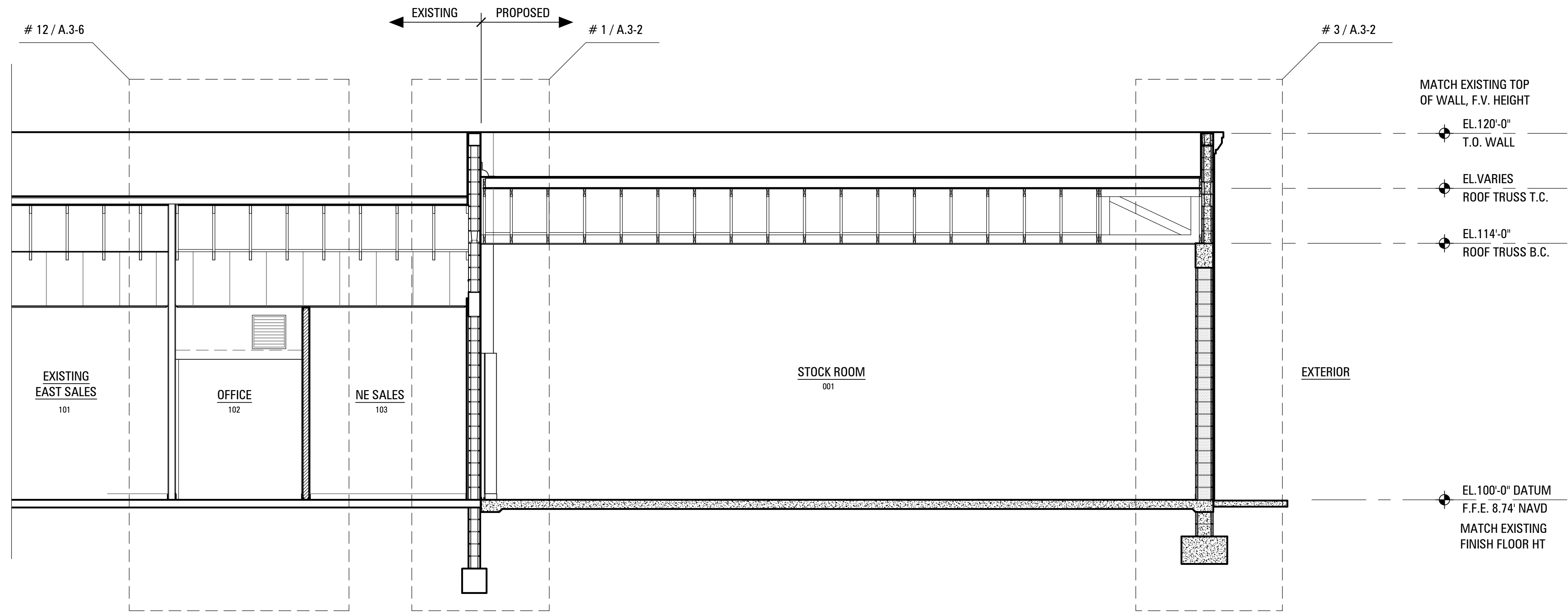
SHEET NUMBER **A-2.2**

LOCATION	TEXT	PICTOGRAMS
D-105	RESTROOM	MAN, WOMAN, CHILD, WHEELCHAIR
D-106	RESTROOM	MAN, WOMAN, CHILD, WHEELCHAIR
D-111	DRESSING ROOM	WHEELCHAIR
NOTE: ALL DOOR SIGNS SHALL BE COMPLIANT WITH THE AMERICAN WITH DISABILITIES ACT (ADA)		

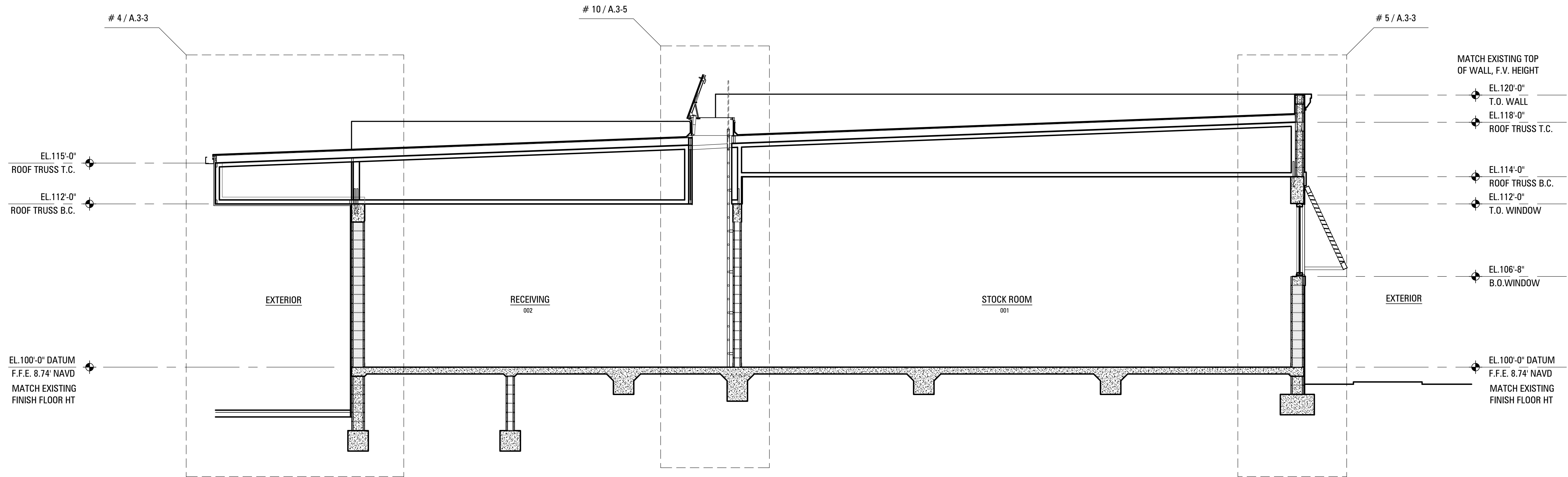


INTERIOR ELEVATION KEYNOTES

- ① PLUMBING FIXTURE - SEE SCHEDULE
- ② TOILET ACCESSORY - SEE SCHEDULE
- ③ ADA COMPLIANT GRAB BAR
- ④ CERAMIC TILE BASE / WAINSCOT
- ⑤ PAINTED GYP BOARD
- ⑥ CASEWORK / CABINET
- ⑦ COUNTERTOP
- ⑧ CABINET HARDWARE
- ⑨ APPLIANCE (NOT IN CONTRACT)
- ⑩ DOOR - SEE SCHEDULE



A LATITUDINAL BUILDING SECTION (NORTH - SOUTH)
1/4" = 1'-0"



B LONGITUDINAL BUILDING SECTION (EAST - WEST)
1/4" = 1'-0"



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REVIEW	03-13-2025
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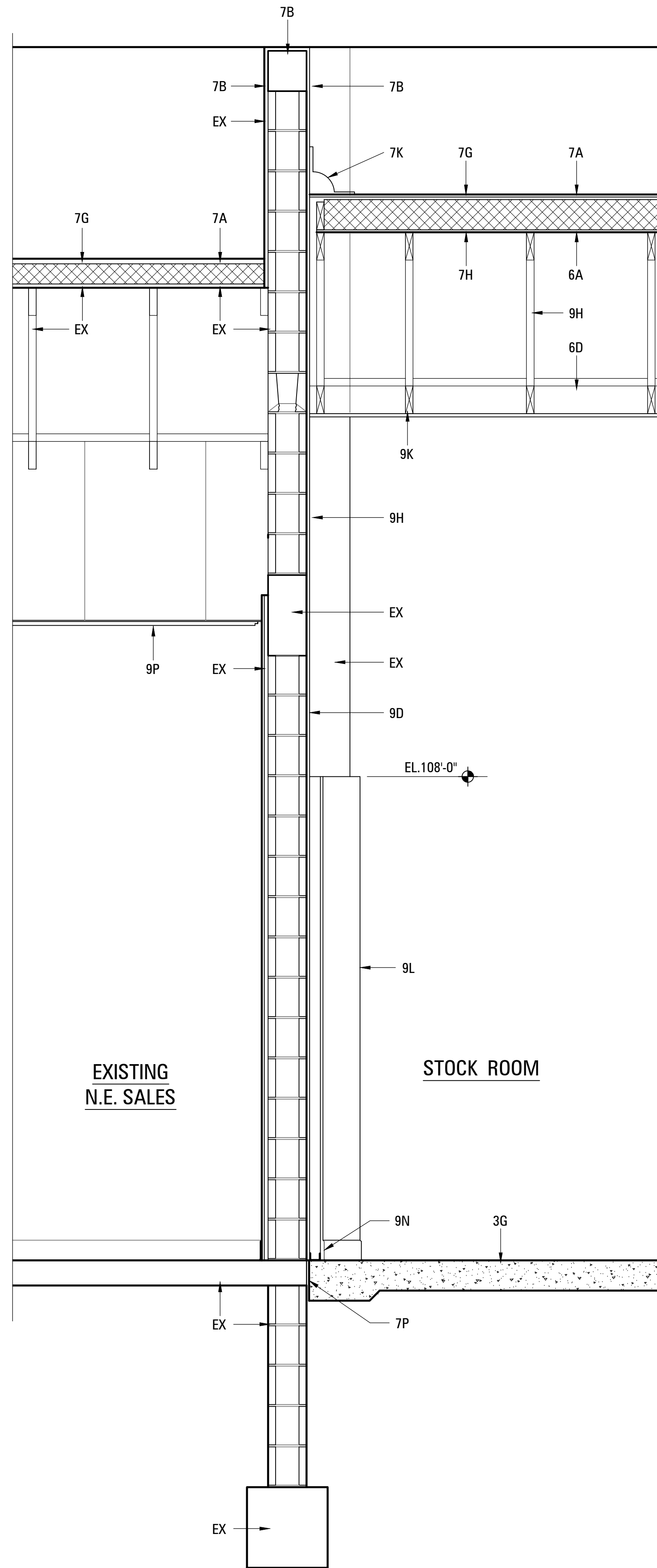
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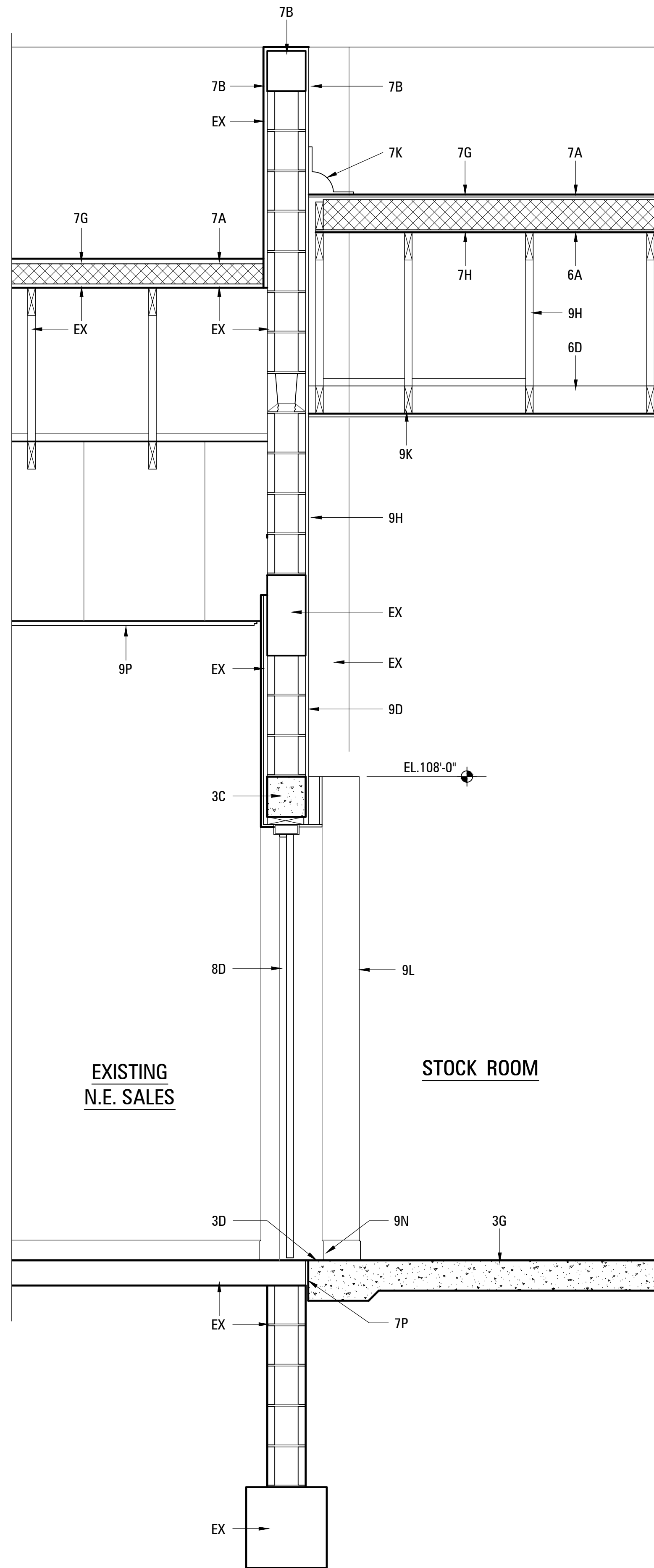
Building Sections

PROJECT NUMBER 24-680

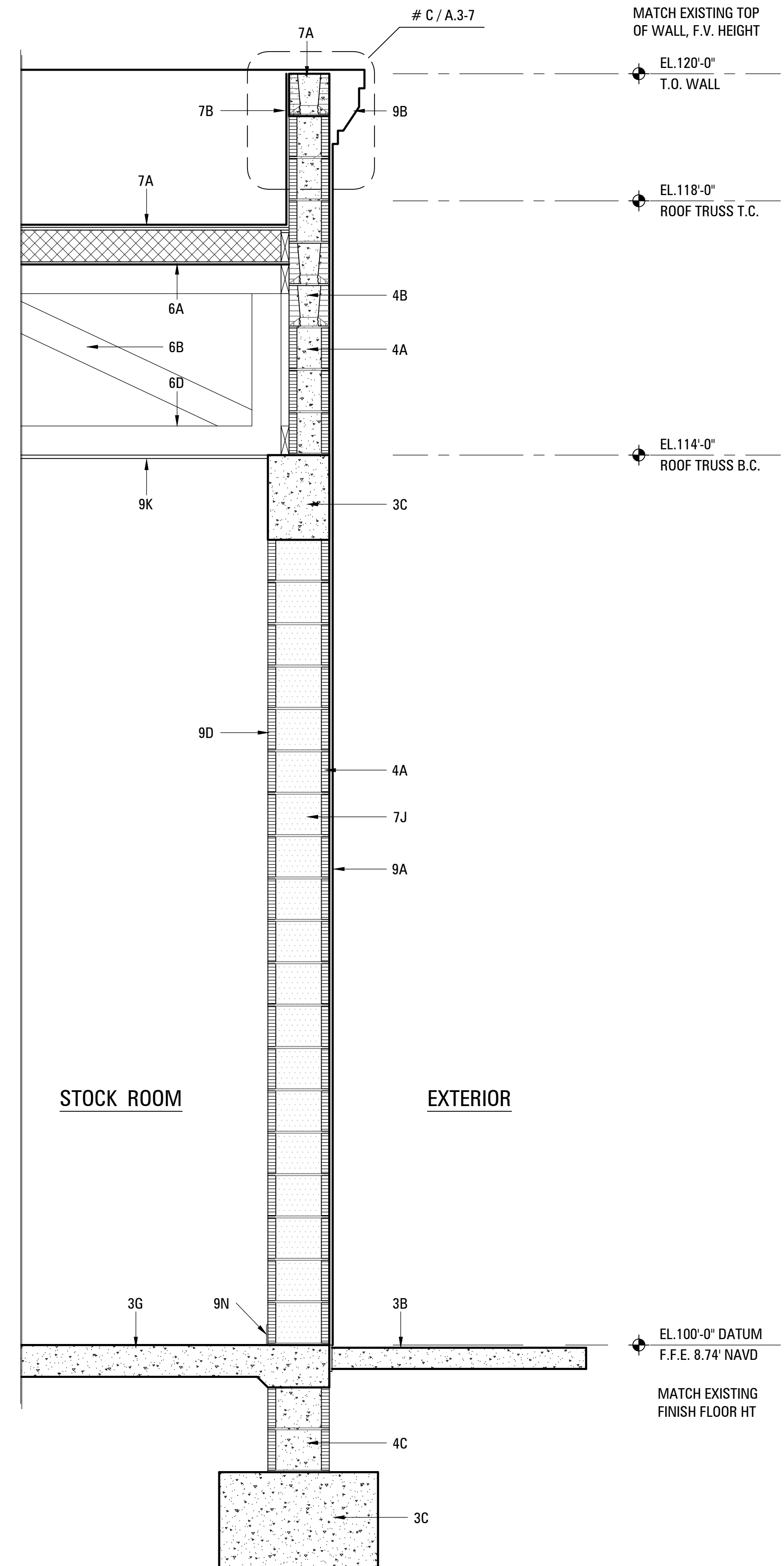
SHEET NUMBER **A-3.1**



1 WALL SECTION AT EXISTING WALL
SCALE: 3/4" = 1'-0"



2 WALL SECTION AT NEW WALL OPENING
SCALE: 3/4" = 1'-0"



3 WALL SECTION AT NEW NORTH WALL
SCALE: 3/4" = 1'-0"

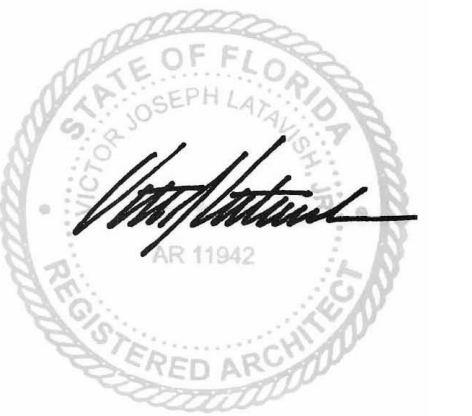


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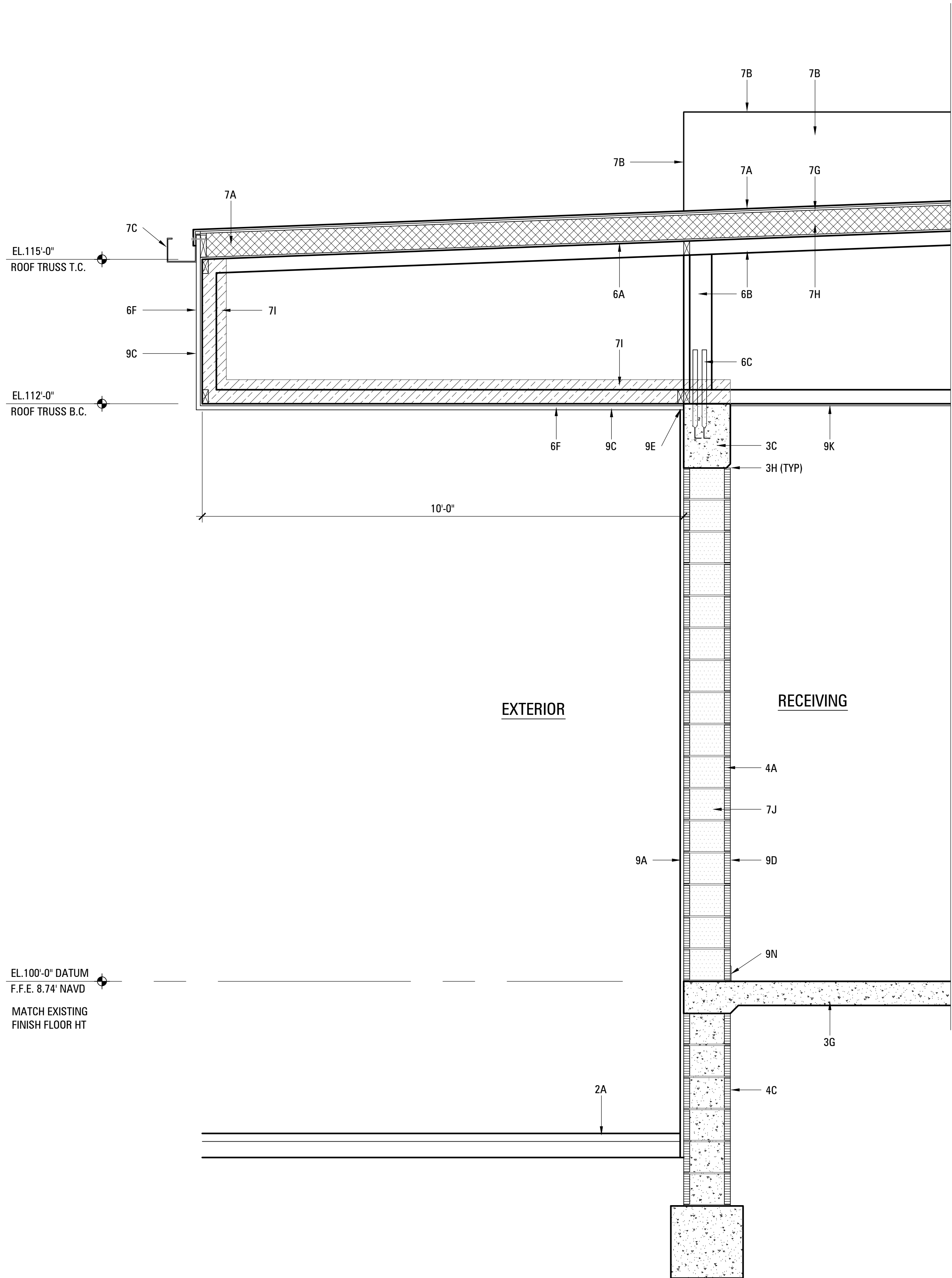


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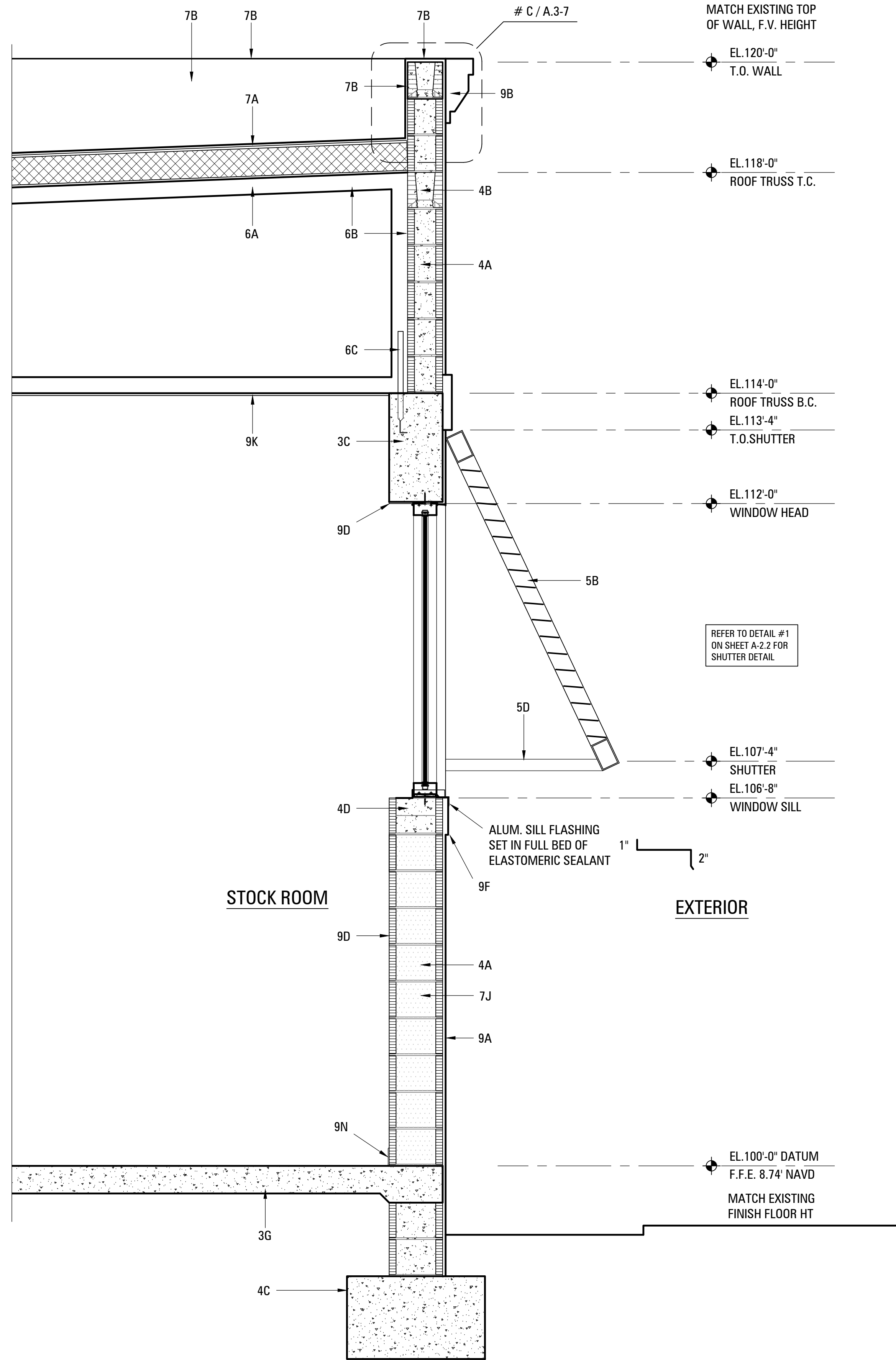
Wall Sections

PROJECT NUMBER 24-680

SHEET NUMBER A-3.2



4 WEST WALL SECTION
SCALE: 3/4" = 1'-0"



5 EAST WALL SECTION
SCALE: 3/4" = 1'-0"



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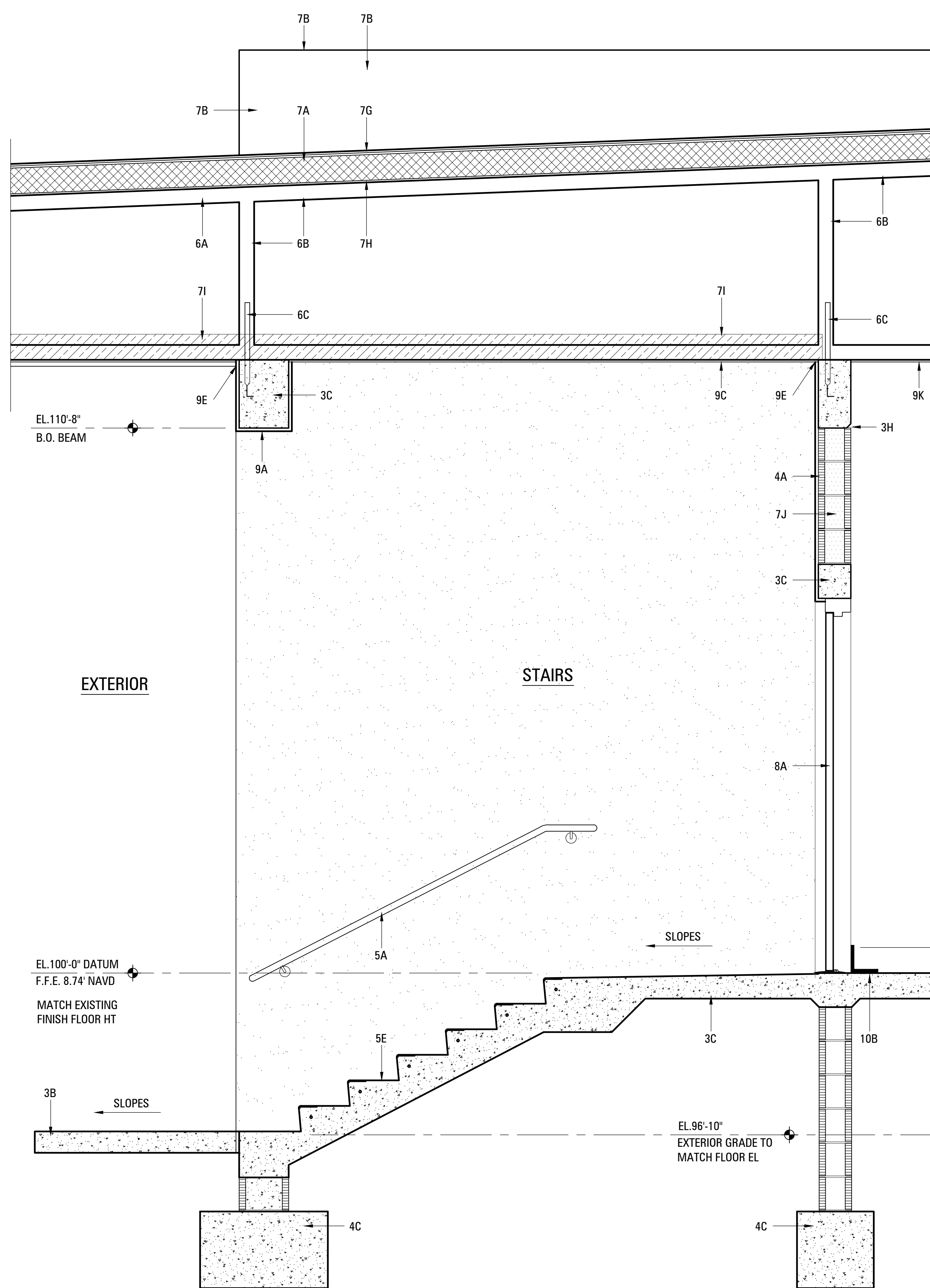
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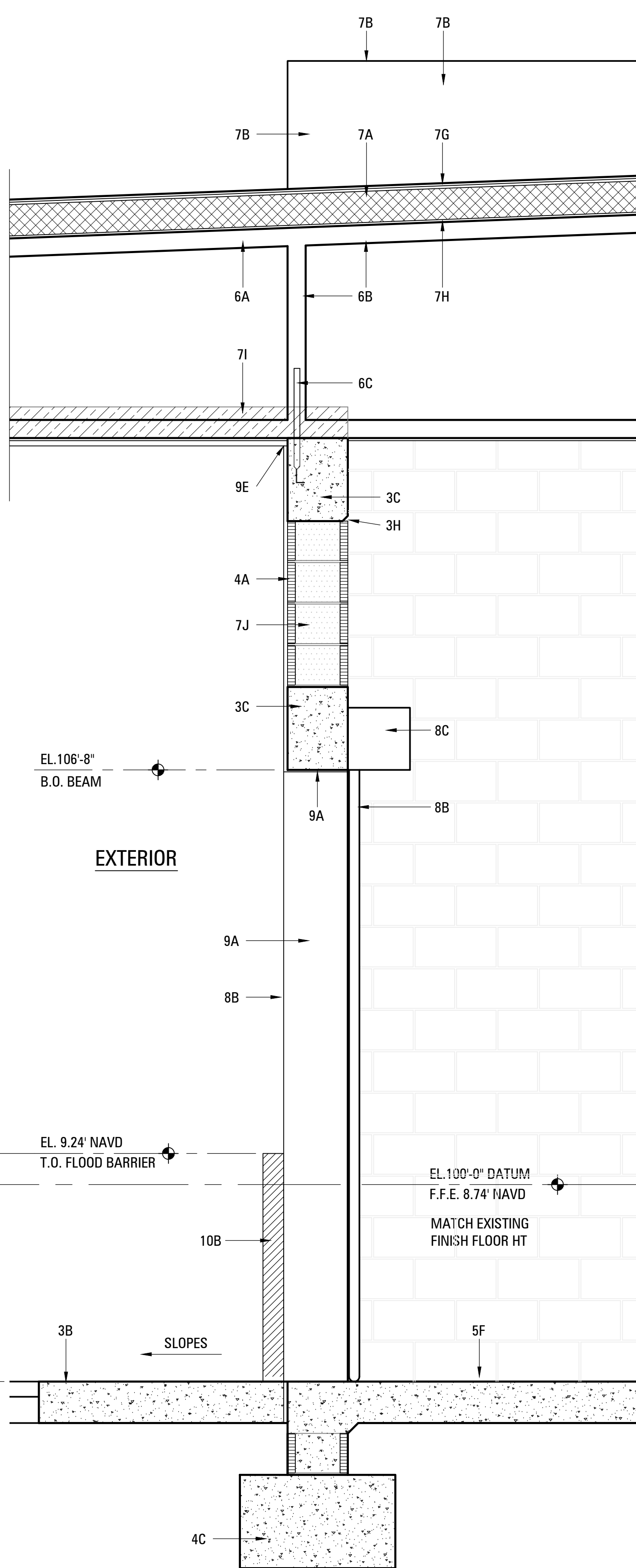
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Wall Sections

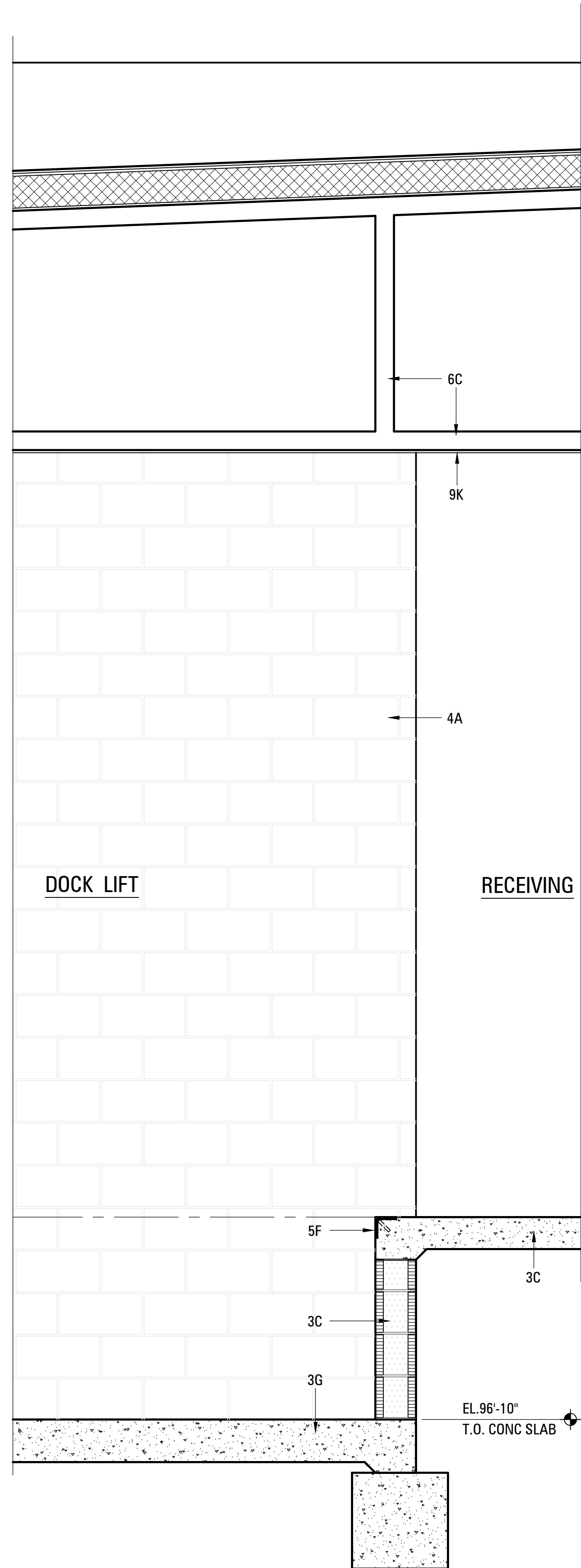
PROJECT NUMBER 24-680
SHEET NUMBER **A-3.3**



6 WEST WALL SECTION AT BACK STAIRS
SCALE: 3/4" = 1'-0"



7 WEST WALL SECTION AT DOCK LIFT
SCALE: 3/4" = 1'-0"



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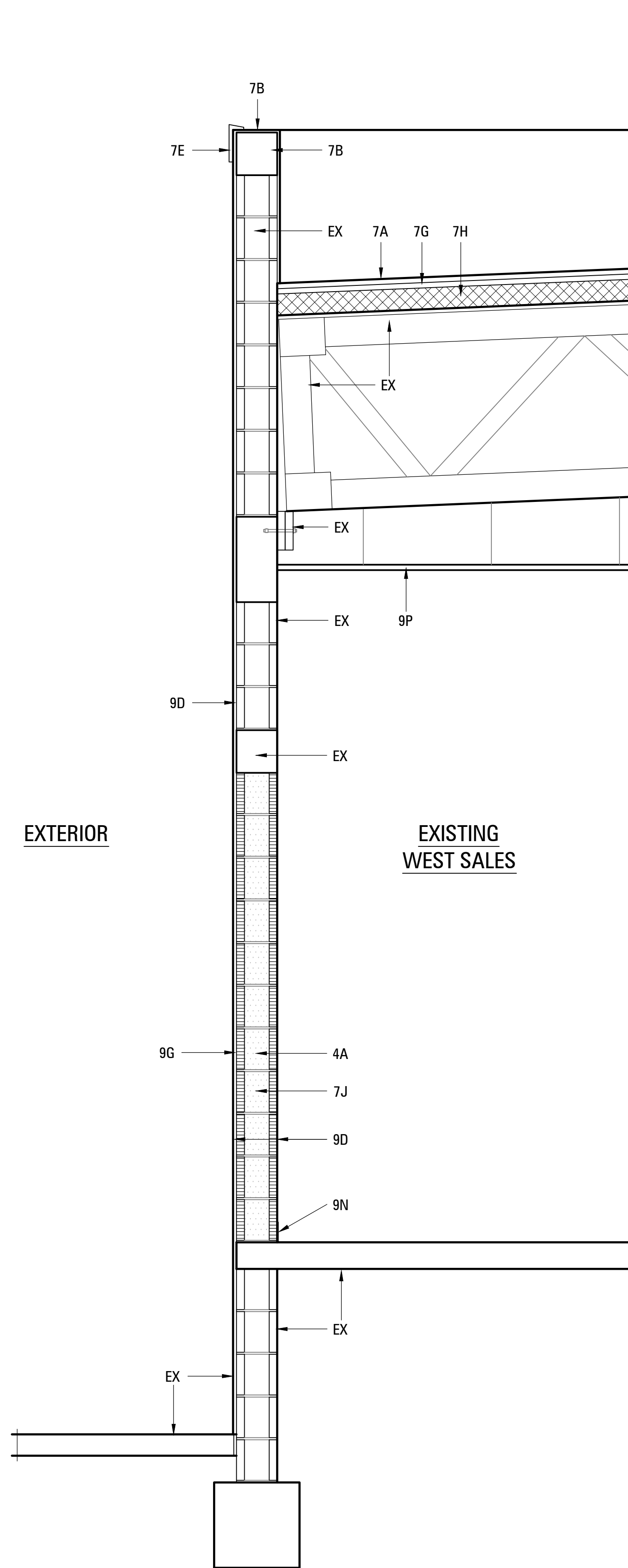
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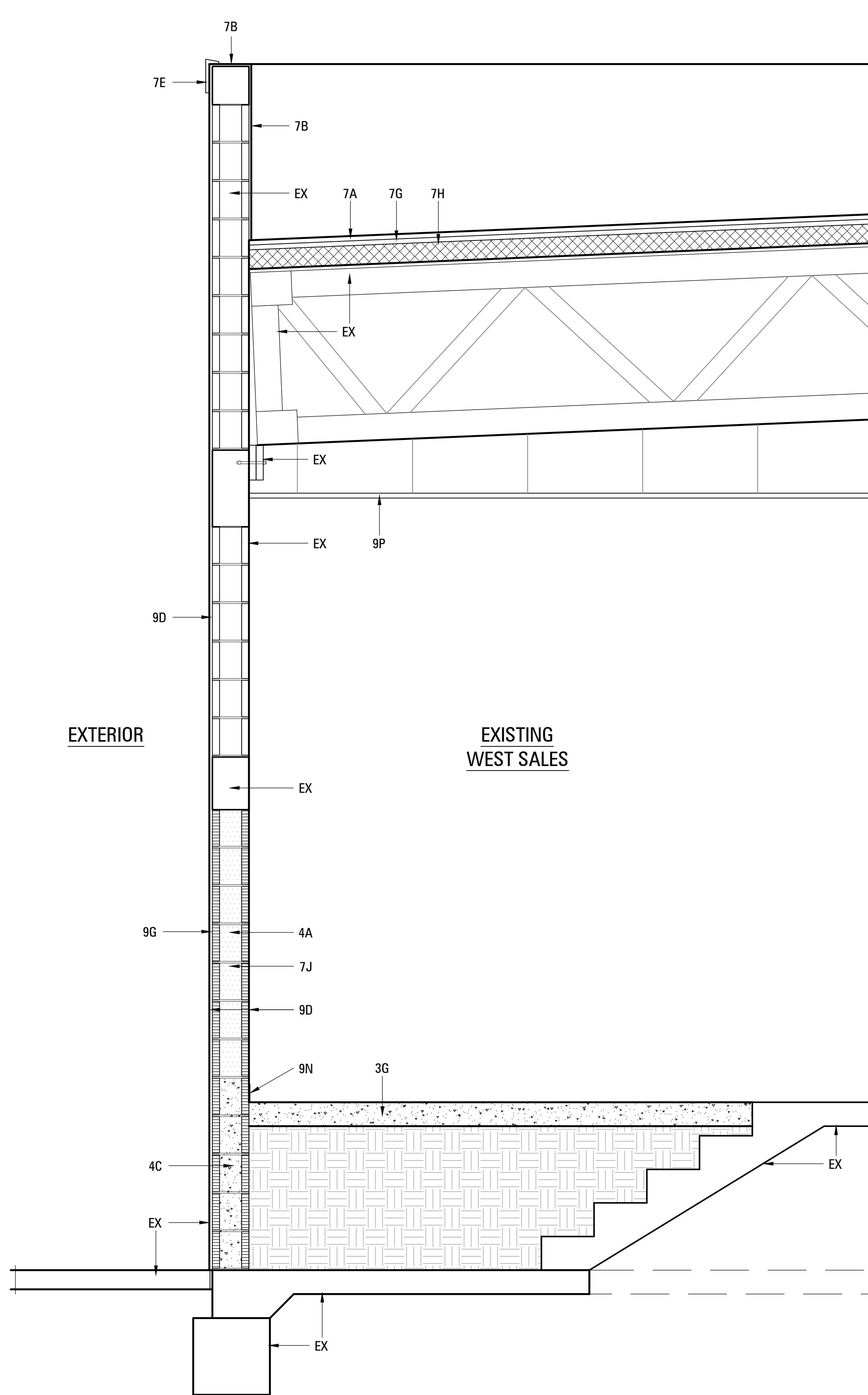
Wall Sections

PROJECT NUMBER 24-680
SHEET NUMBER **A-3.4**



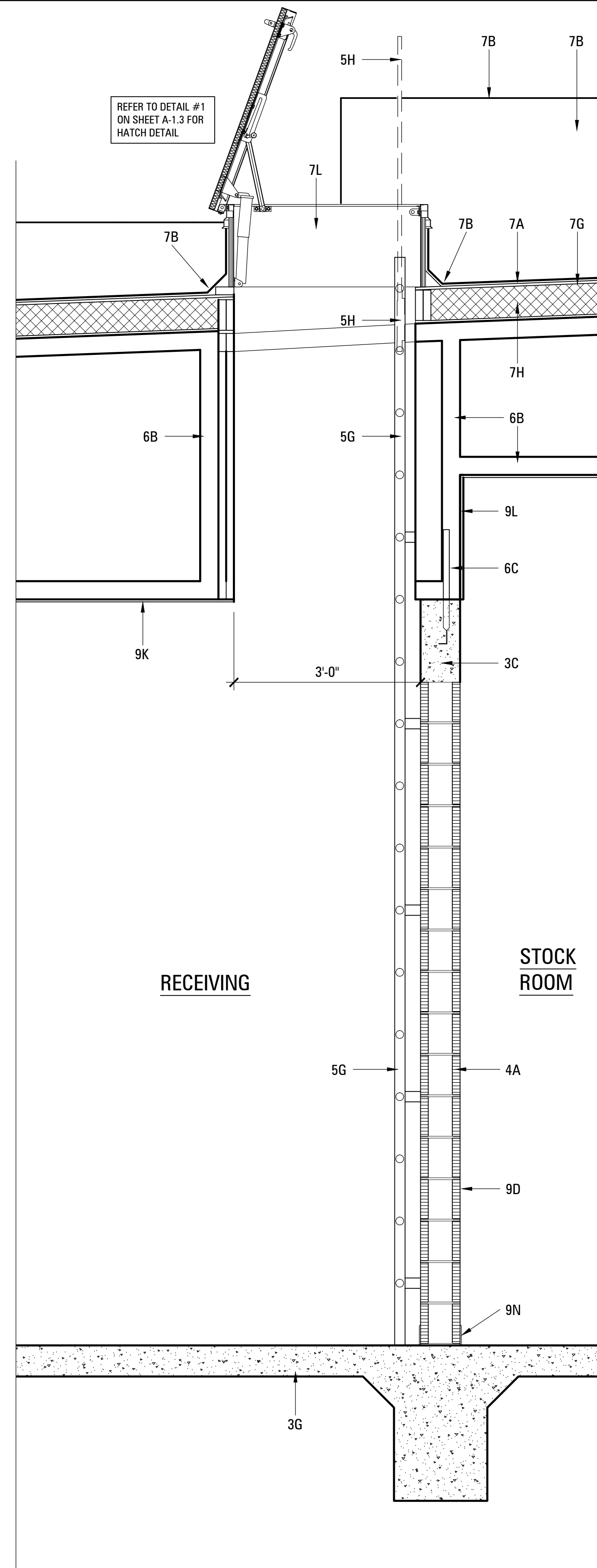
8 WEST WALL SECTION AT HIGH DOOR IN-FILL

SCALE: 3/4" = 1'-0"



9 WEST WALL SECTION AT LOW DOOR IN-FILL

SCALE: 3/4" = 1'-0"



10 WALL SECTION AT ROOF HATCH & LADDER

SCALE: 3/4" = 1'-0"



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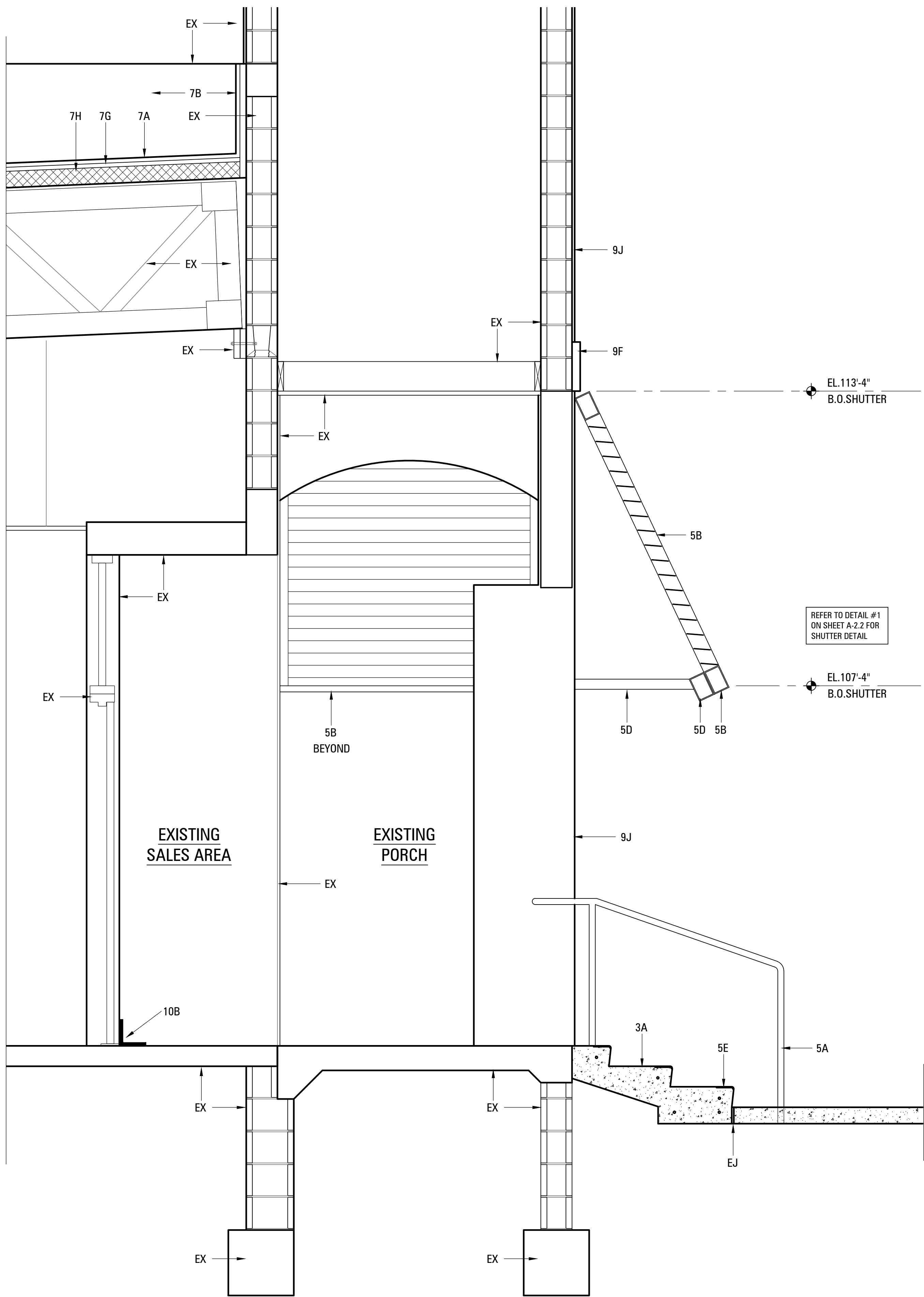
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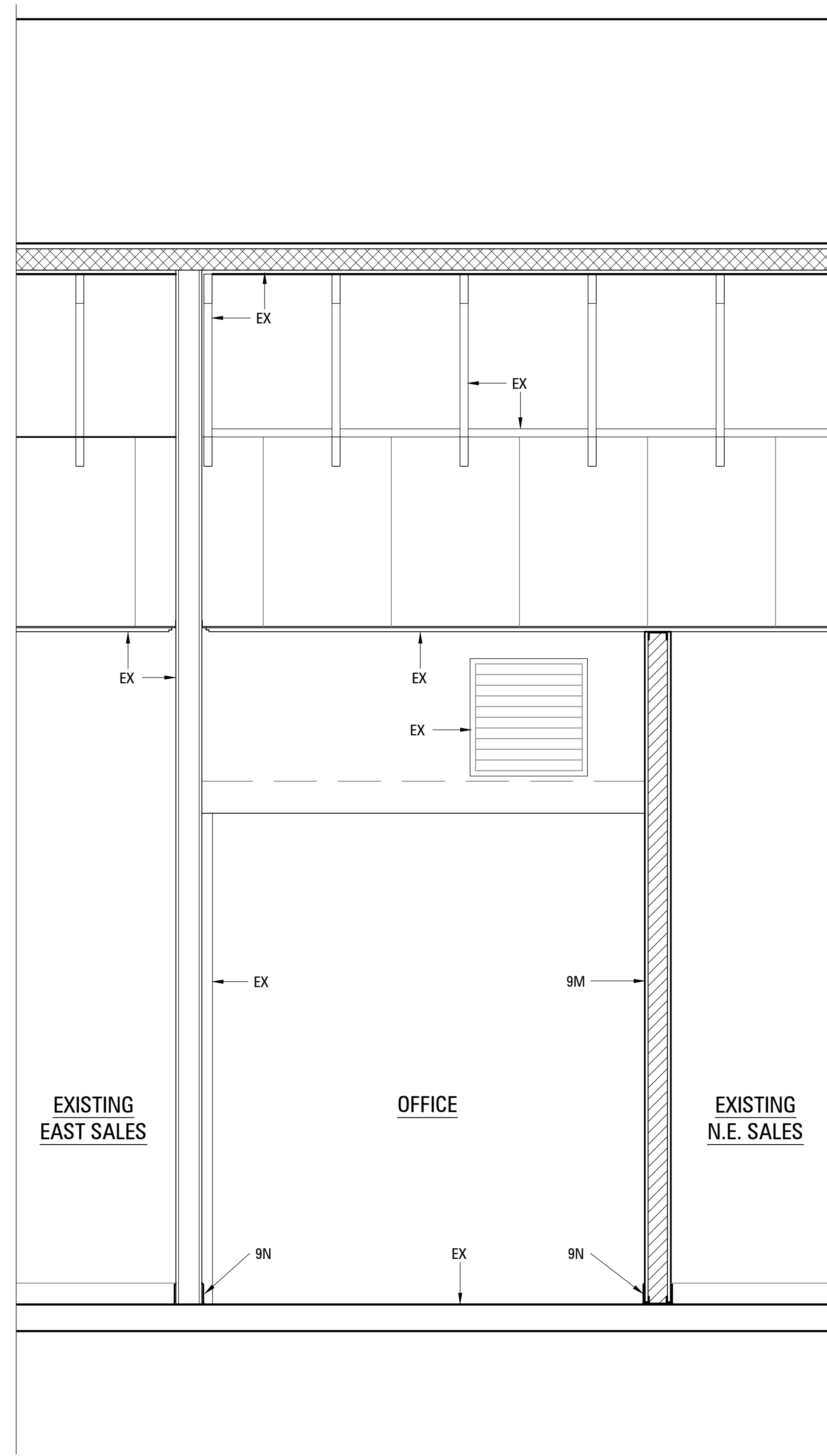
Addition and Alterations to the
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Wall Sections

PROJECT NUMBER	24-680
SHEET NUMBER	A-3.5



11 WALL SECTION EAST ENTRY STAIRS
SCALE: 3/4" = 1'-0"



12 INTERIOR WALL SECTIONS AT OFFICE
SCALE: 3/4" = 1'-0"



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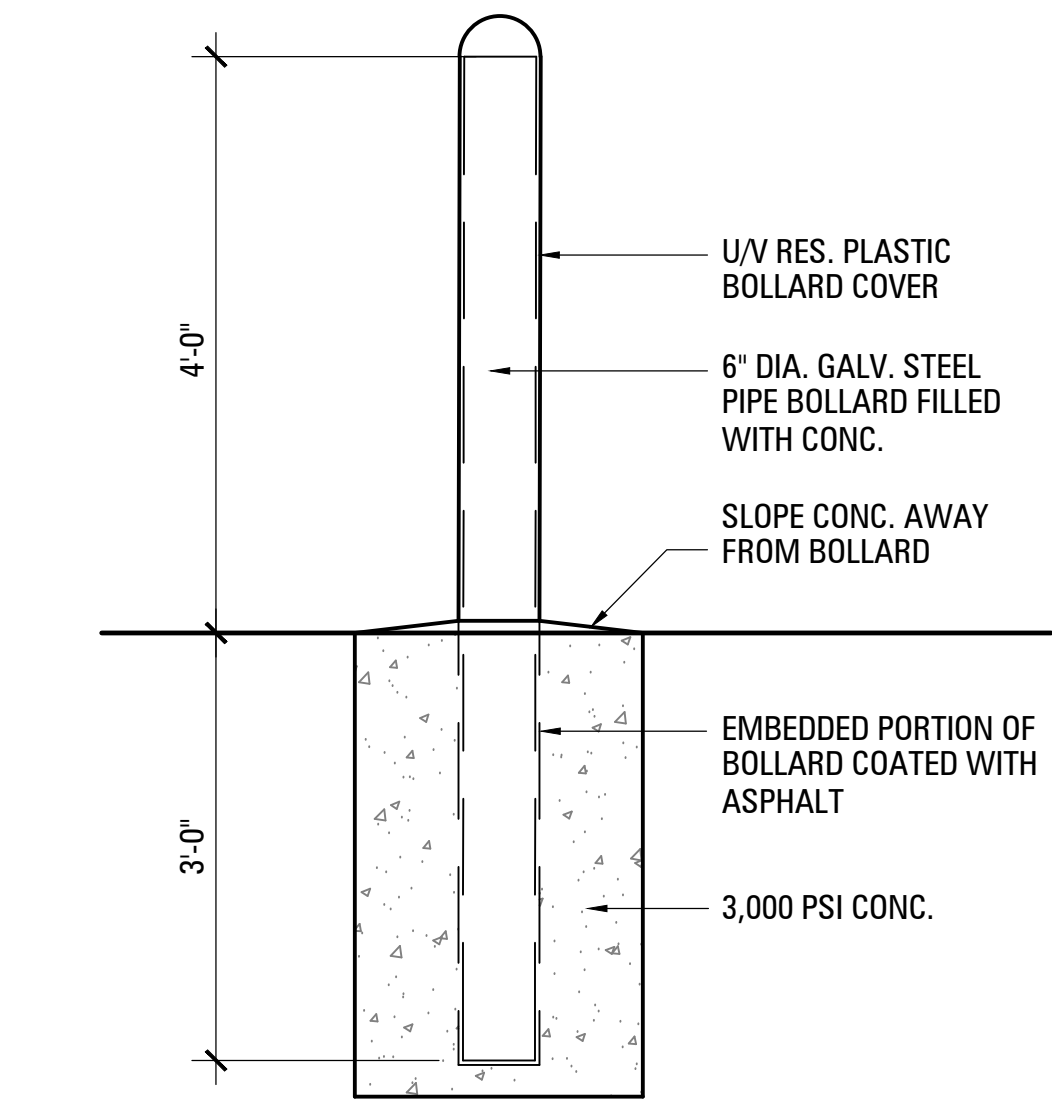
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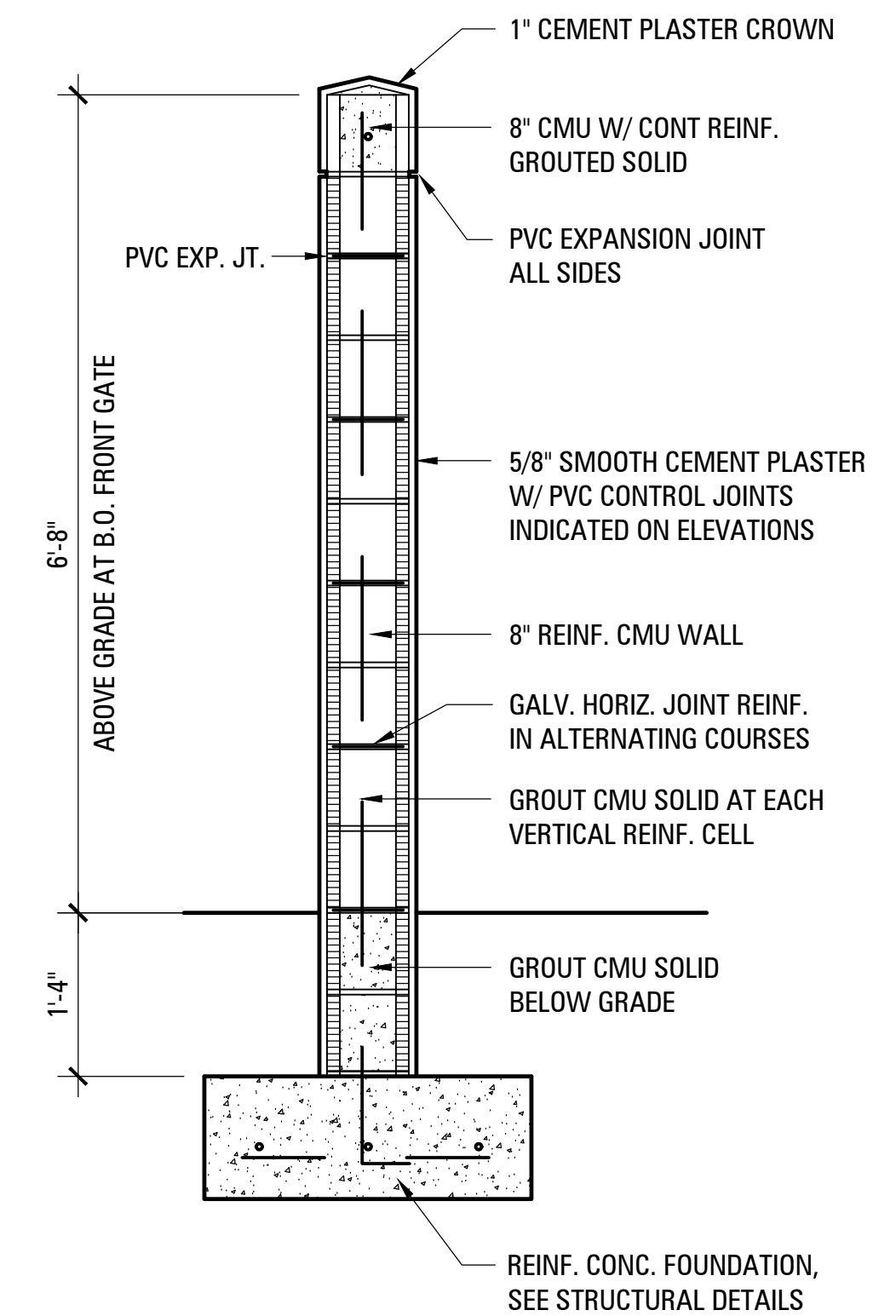
Wall Sections

PROJECT NUMBER 24-680

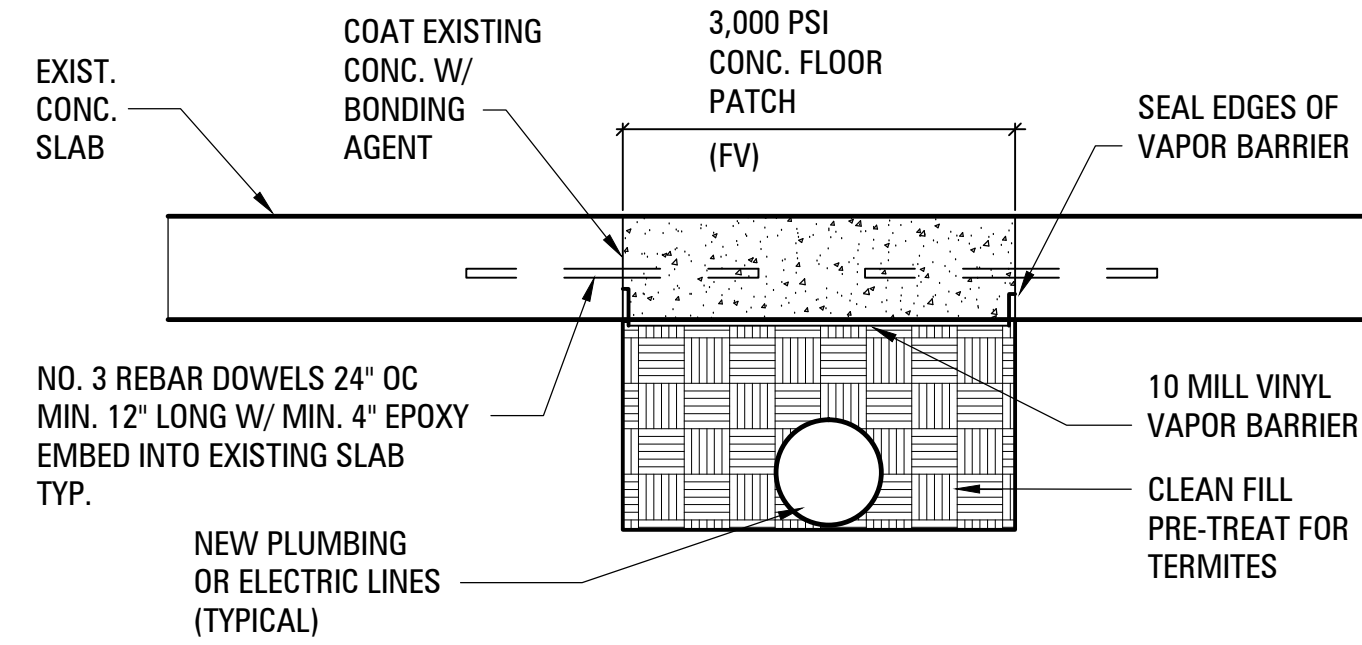
SHEET NUMBER **A-3.6**



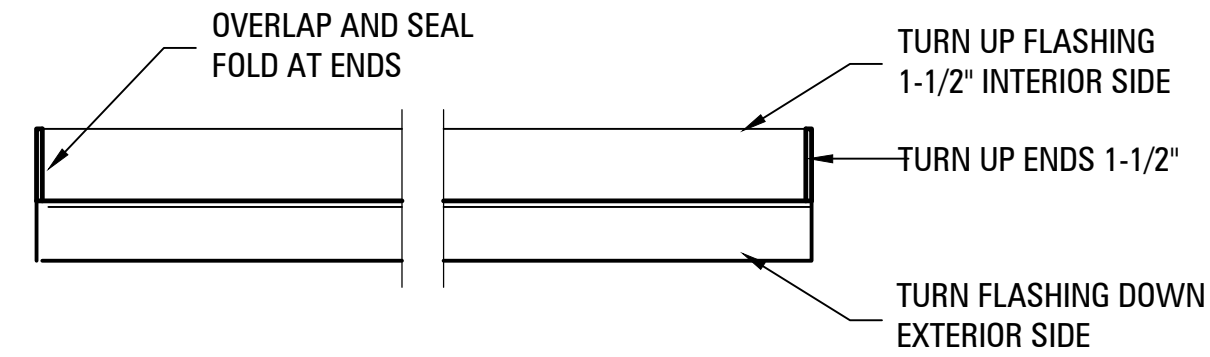
1 TYPICAL BOLLARD DETAIL
3/4" = 1'-0"



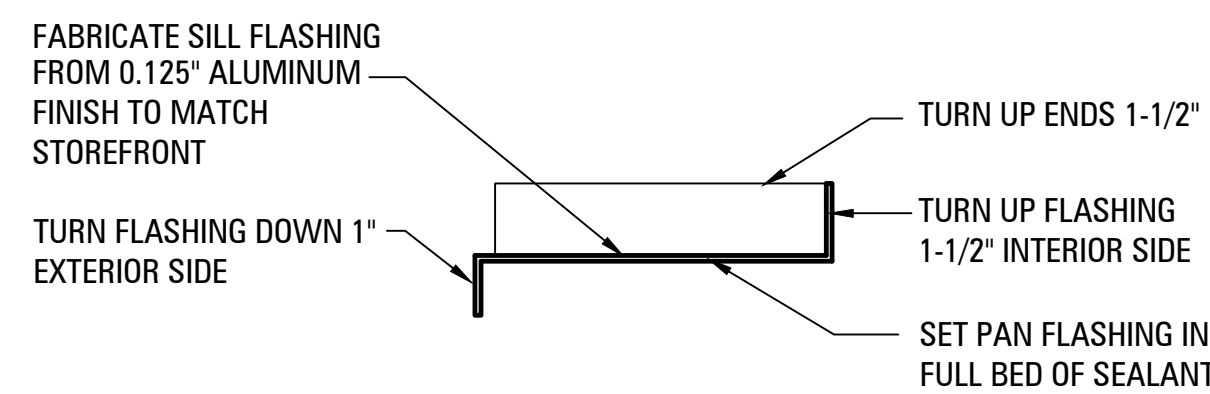
2 TRASH ENCLOSURE
N.T.S.



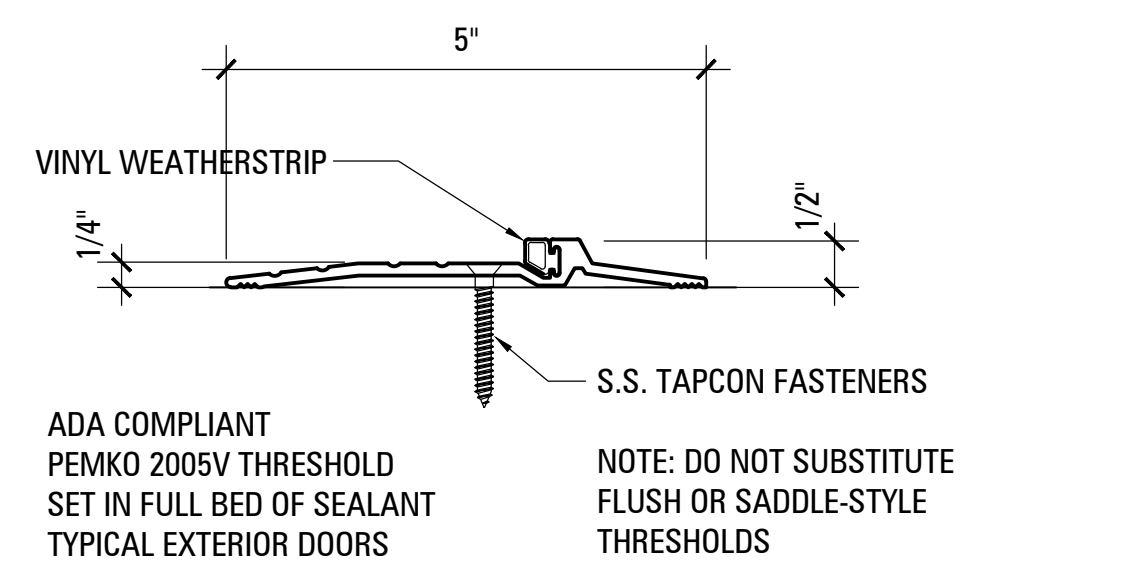
3 FLOOR REPAIR DETAIL
N.T.S.



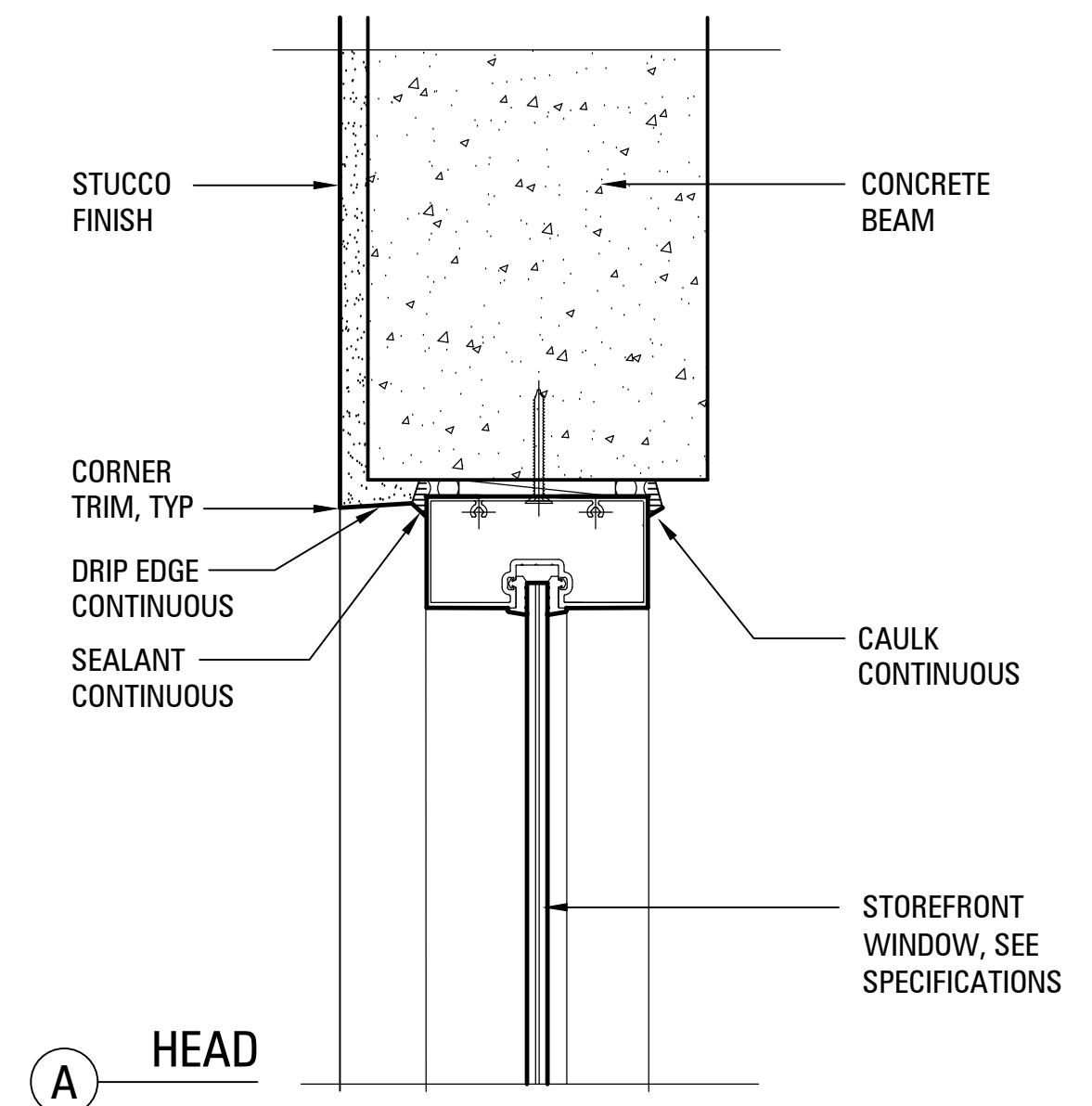
4 SILL FLASHING ELEVATION



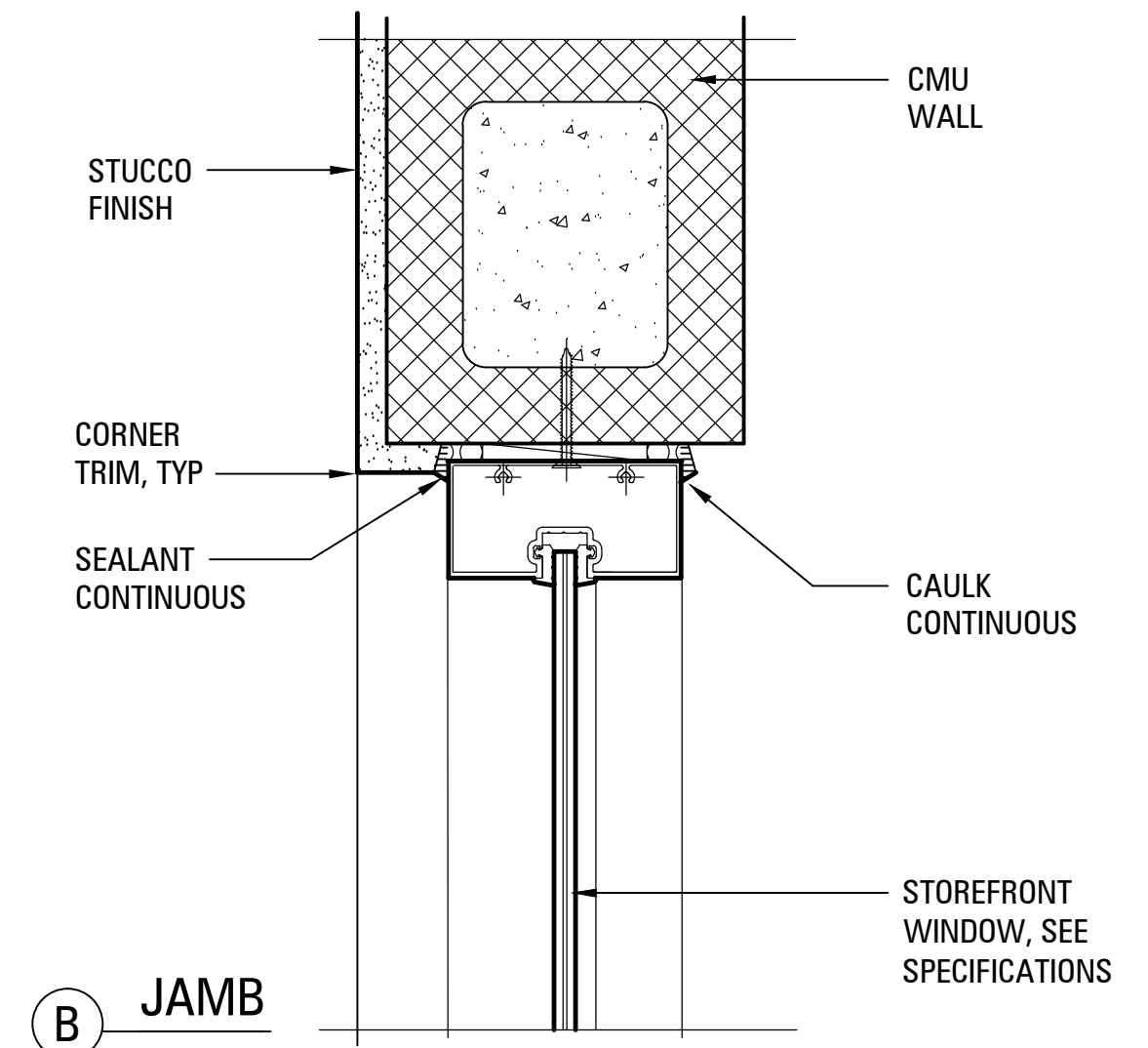
5 SILL FLASHING SECTION



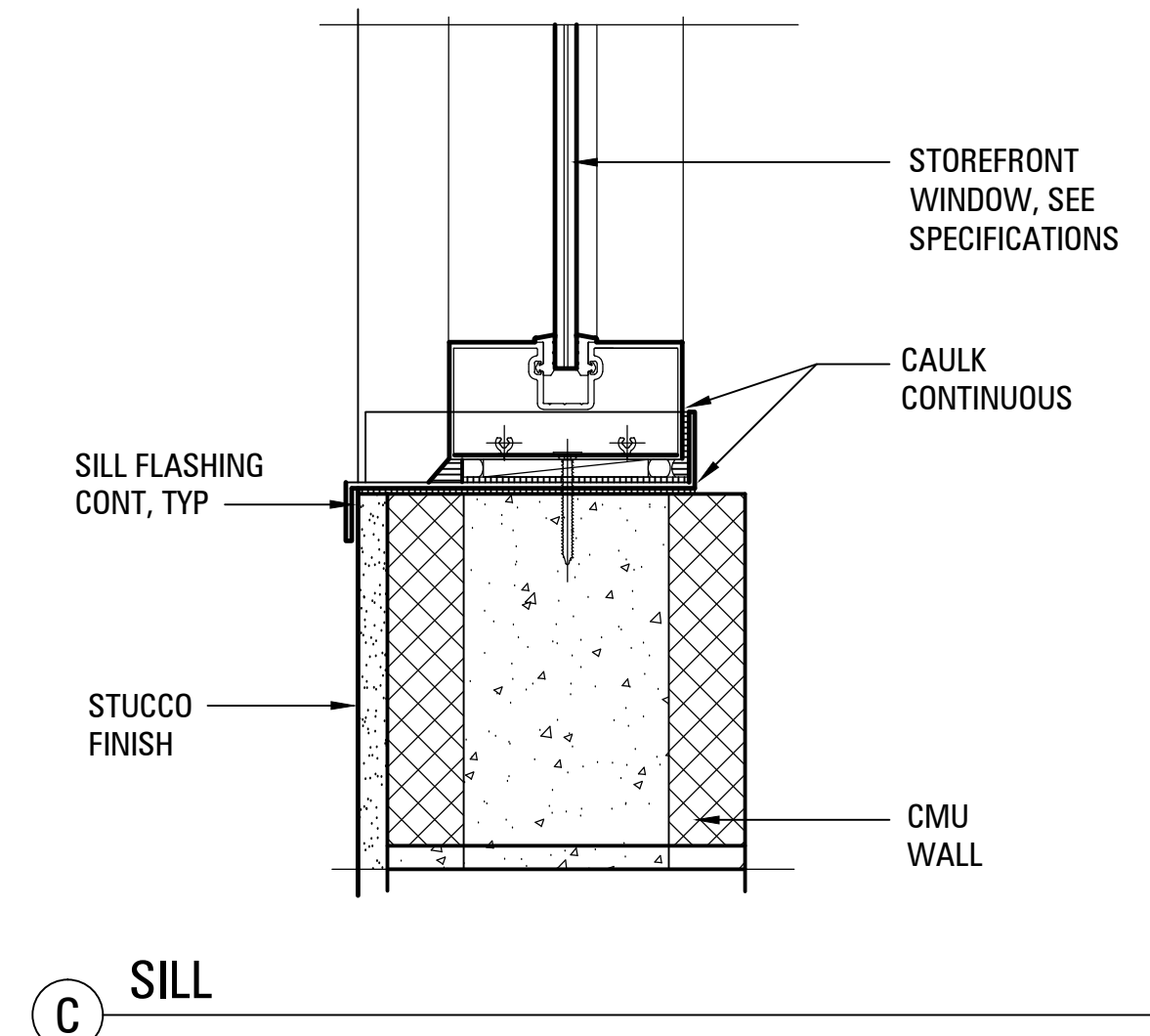
6 TYPICAL THRESHOLD



A HEAD

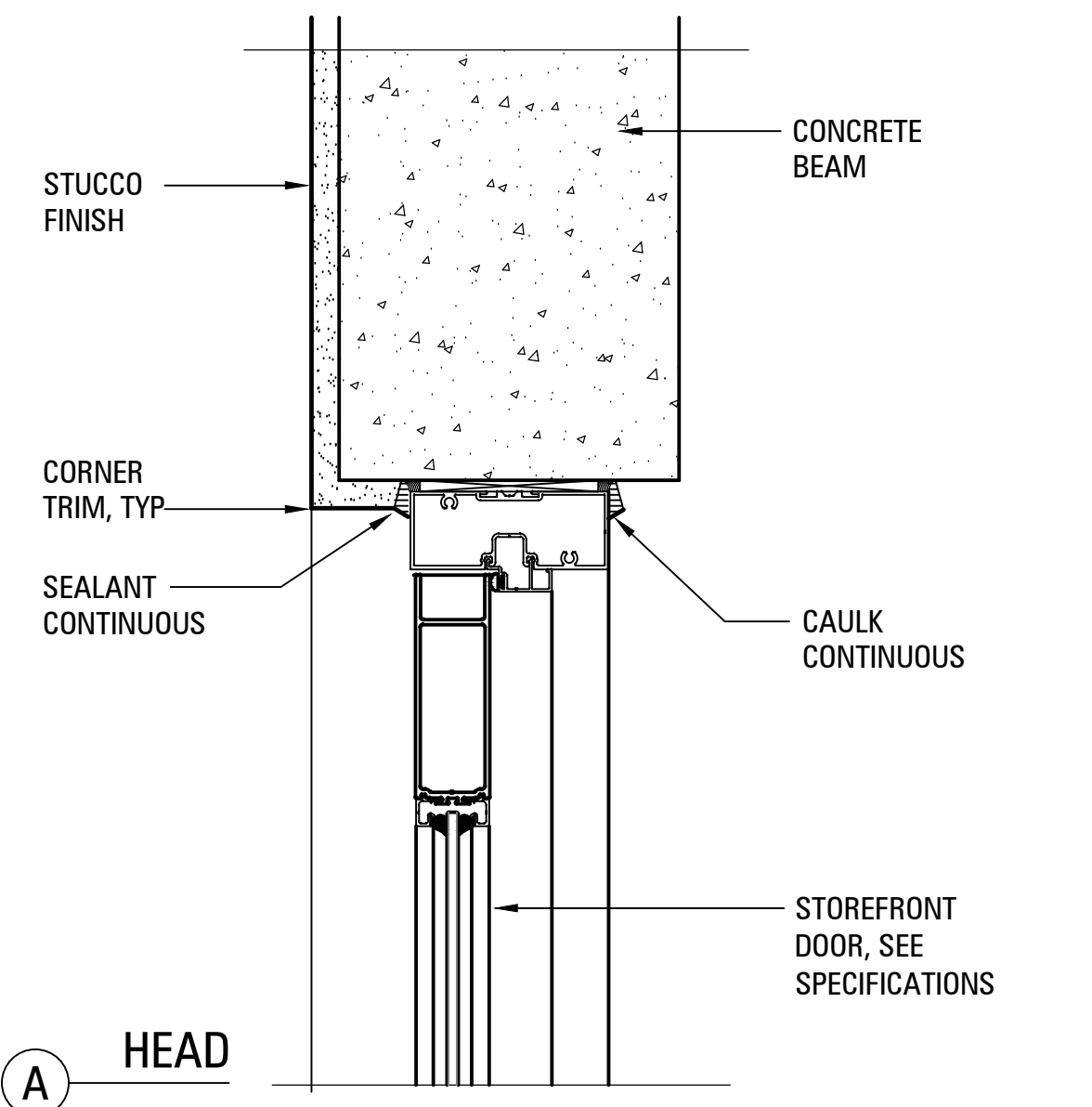


B JAMB

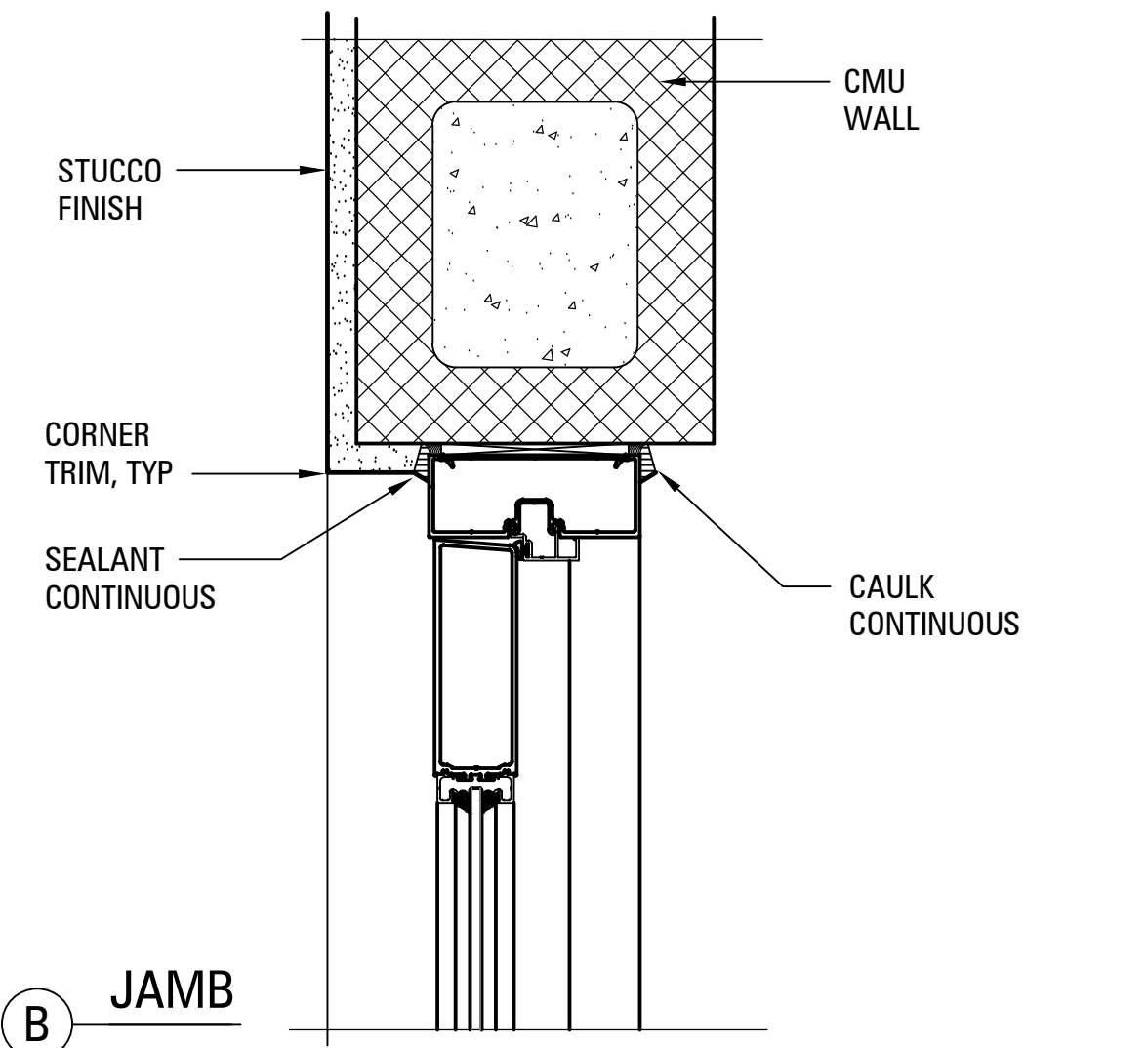


C SILL

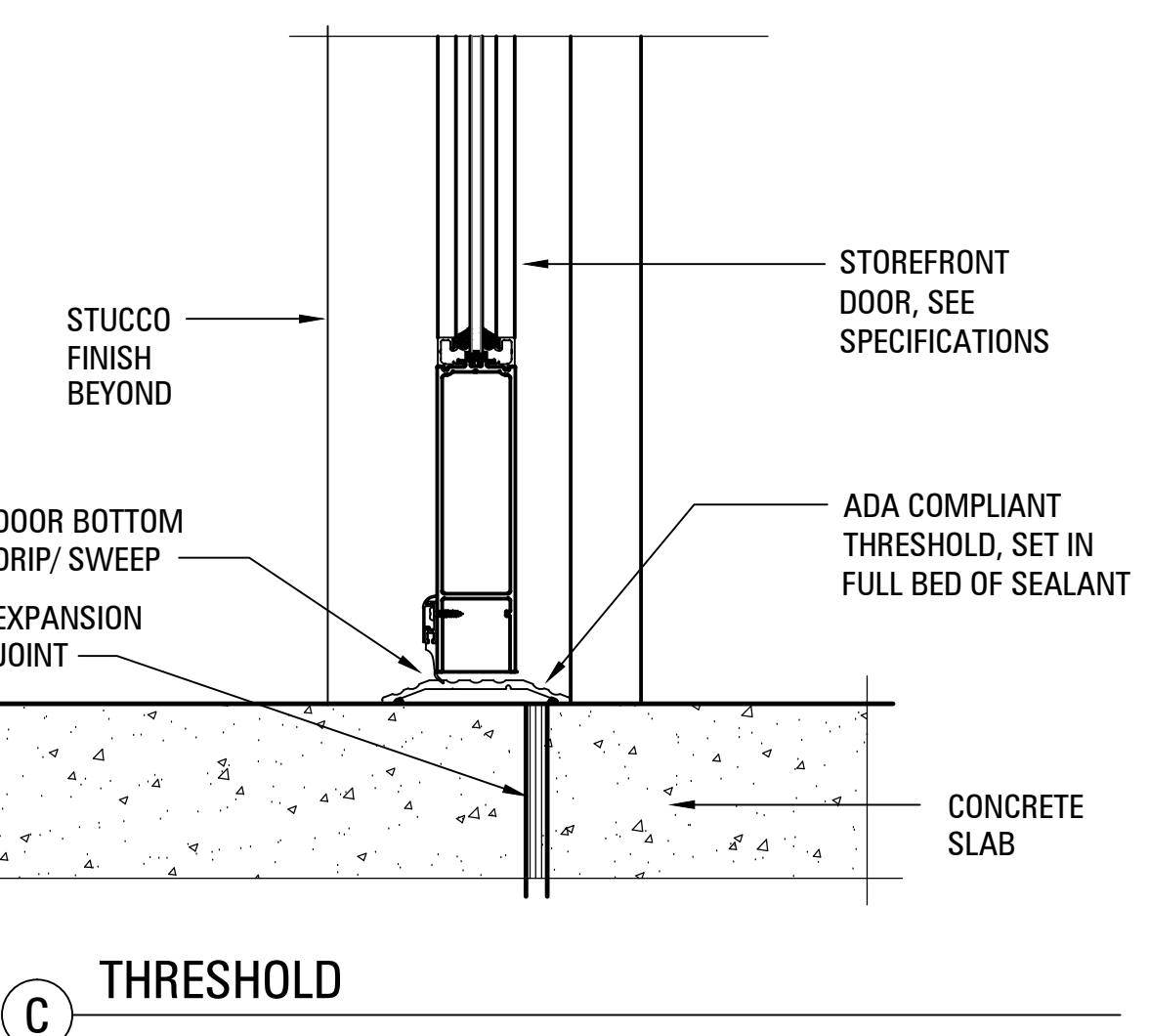
7 ALUM. STOREFRONT WINDOW DETAILS



A HEAD



B JAMB



C THRESHOLD

8 ALUM. STOREFRONT ENTRANCE DETAILS



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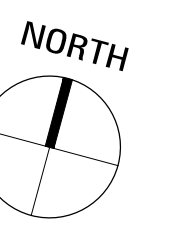
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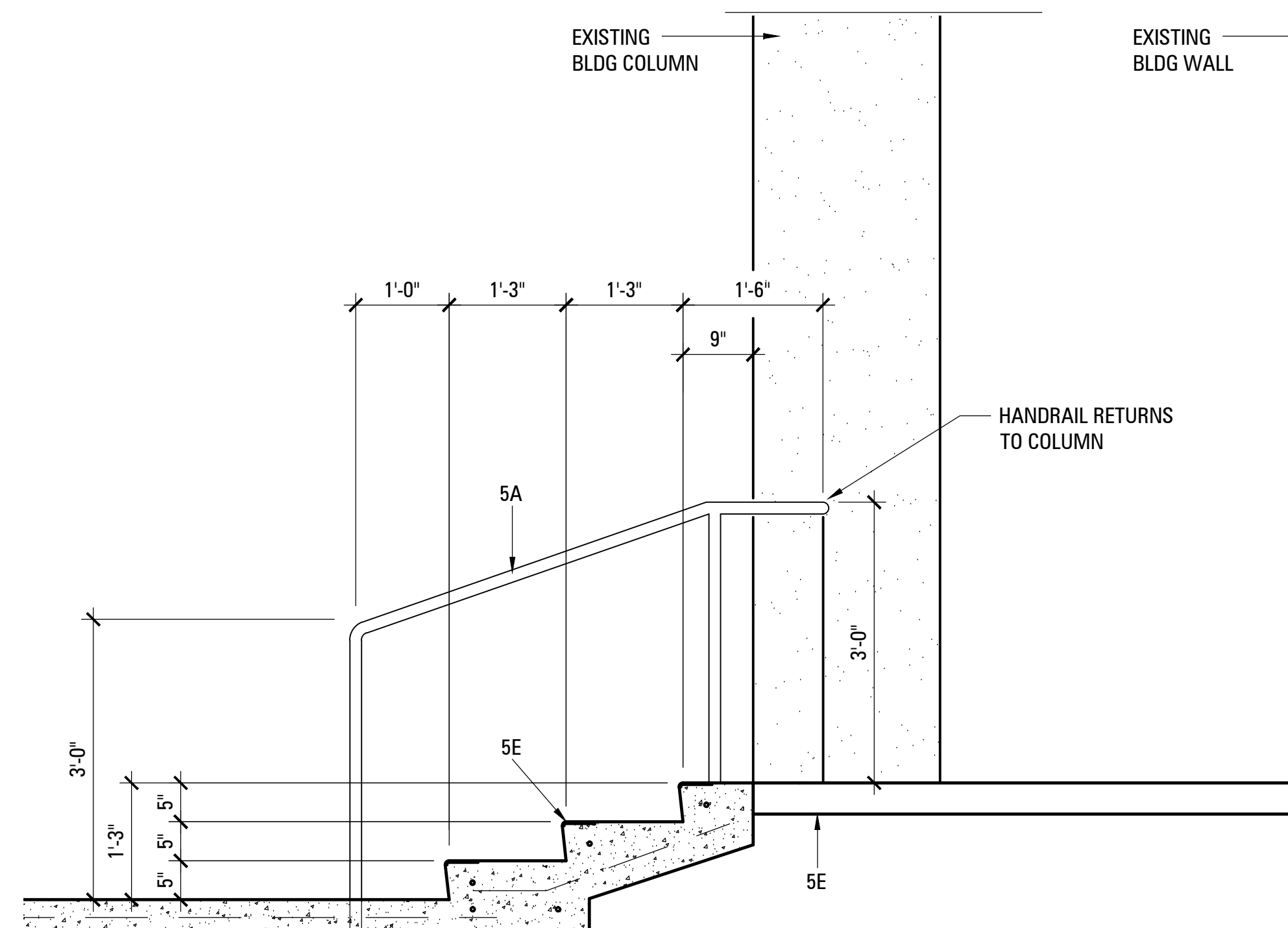
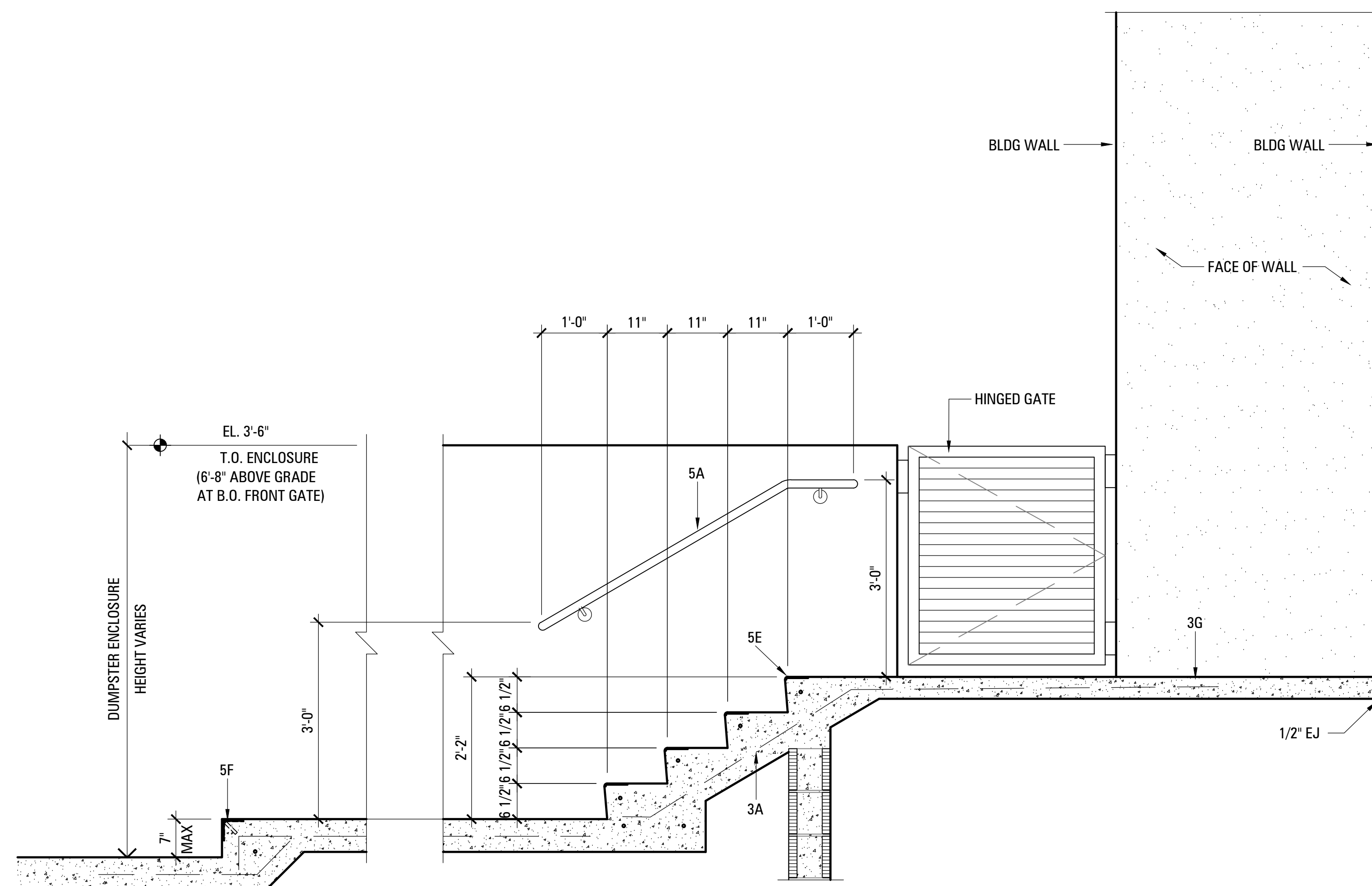
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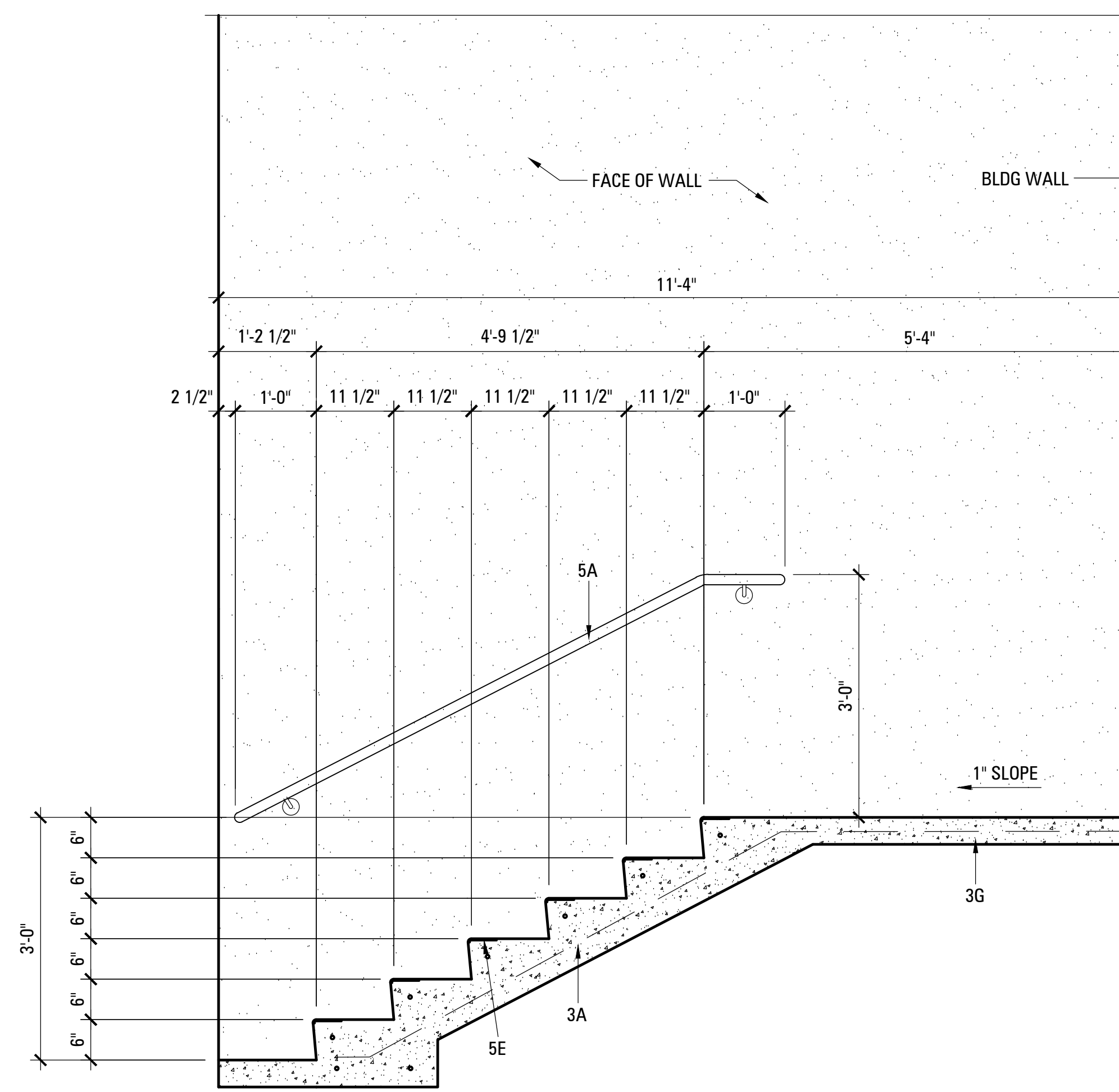
Interior Details



PROJECT NUMBER 24-680
SHEET NUMBER A-3.7

N.T.S.


$$\frac{3}{4}'' = 1'-0''$$


$$3/4'' = 1'-0''$$

$$\frac{3}{4}'' = 1'-0'$$
