

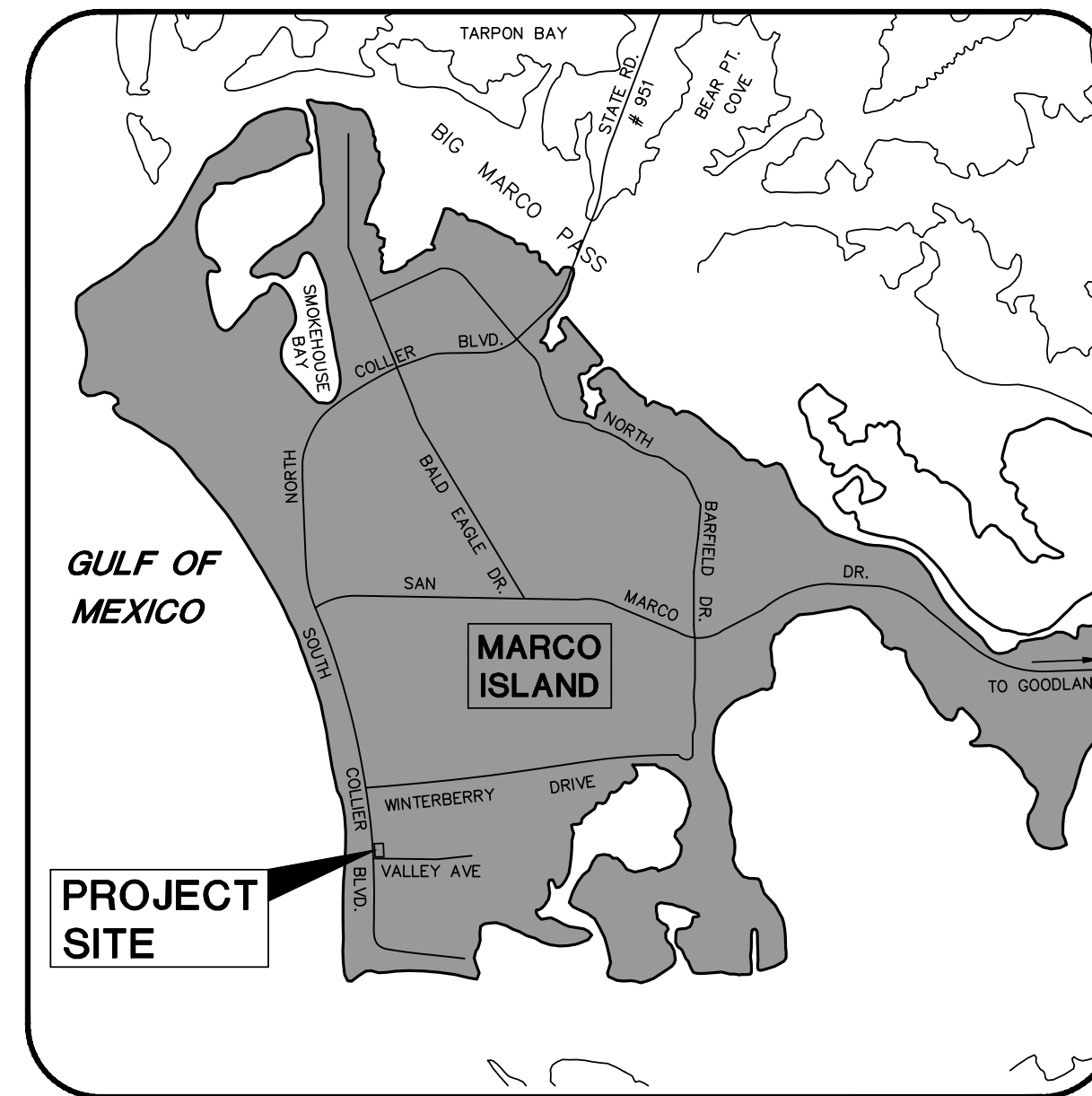
# SITE DEVELOPMENT PLAN FOR A PROPOSED MIXED USE DEVELOPMENT E RESIDENCES - MARCO ISLAND 711 & 731 S. COLLIER BOULEVARD, MARCO ISLAND FL.

PARCEL # 57871720009 & 57871640008  
SECTION 17, TOWNSHIP 52 RANGE 26

LEGAL: LOTS 1-3, BLOCK 348, UNIT 10  
MARCO BEACH AS RECORDED  
IN PLAT BOOK 6, PAGES 74  
THROUGH 79 OF THE PUBLIC  
RECORDS OF COLLIER COUNTY,  
FLORIDA

DEVELOPER: MI DEVELOPERS LLC  
428 PERSIAN COURT  
MARCO ISLAND, FL 34145  
PHONE NUMBER: 973-960-7283

AGENT: MARTIN D. PINCKNEY, P.E.  
AMERICAN ENGINEERING CONSULTANTS  
OF MARCO ISLAND, INC.  
573 BALD EAGLE DRIVE  
MARCO ISLAND, FL 34145  
PHONE NUMBER: 239-394-1697



Vicinity Map  
N.T.S.

Reviewed for code compliance  
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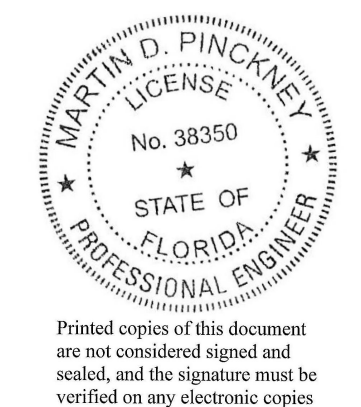
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Joshua Ooyman  
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## AMERICAN ENGINEERING CONSULTANTS OF MARCO ISLAND, INC.

CERTIFICATE OF AUTHORIZATION NUMBER 26446  
573 BALD EAGLE DR. MARCO ISLAND, FL. (239) 394-1697

SEPTEMBER 2022









c=US, st=Florida, l=Naples, o=Martin  
Pinckney, cn=Martin D. Pinckney,  
email=martin@aec-mi.com  
This item has been digitally signed  
and sealed on the date adjacent to  
the seal I agree to the terms defined  
by the placement of my signature on  
this document  
2023.02.08 16:43:48 -05'00'




## CONSTRUCTION NOTES

## SHEET INDEX

SHEET NAME	#
TITLE SHEET	
INDEX, NOTES AND LEGEND PLAN	C-1
DEMOLITION PLAN	C-2
GEOMETRY PLAN	C-3
STORMWATER PLAN	C-4
PARKING AND STORMWATER SECTIONS	C-5
MISCELLANEOUS DETAILS	C-6
UTILITY DETAILS	C-7
UTILITY DETAILS (2)	C-8

## LEGEND

 = BOLLARD  
 = MITERED END SECTION  
 = CATCH BASIN  
 = ELECTRIC MISCELLANEOUS  
 = IN-GROUND ELECTRIC BOX  
 = ELECTRIC SERVICE BOX  
 = RED FLAG/PAINT MARK  
 = IN-GROUND FIBER OPTIC BOX  
 = ORANGE FLAG/PAINT MARK  
 = TELEPHONE RISER  
 = TELEVISION RISER  
 = FIBER OPTIC CABLE POST  
 = CABLE TELEVISION RISER  
 = CONCRETE UTILITY POLE  
 = WOOD UTILITY POLE  
 = GUY ANCHOR  
 = LIGHT POLE  
 = SANITARY SEWER MANHOLE  
 = GREEN FLAG/PAINT MARK  
 = SEWER CLEANOUT  
 = WATER VALVE  
 = BLUE FLAG/PAINT MARK  
 = WATER METER  
 = FIRE HYDRANT  
 = BACK FLOW ASSEMBLY  
 = SIGN  
 = PURPLE FLAG/PAINT MARK  
 = YELLOW FLAG/PAINT MARK (GAS)  
 = SPOT ELEVATION (HARD SURFACE)  
 = SPOT ELEVATION (SOFT SURFACE)  
 = SPOT ELEVATION (SOFT SURFACE)

 = BM = BENCHMARK  
 = CMP = CORRUGATED METAL PIPE  
 = C.R. = COUNTY ROAD  
 = S.R. = STATE ROAD  
 = R/W = RIGHT-OF-WAY  
 = O.R. = OFFICIAL RECORD BOOK  
 = P.B. = PLAT BOOK  
 (D) = DEED  
 (P) = PLAT  
 (W) = MEASURED  
 RCP = REINFORCED CONCRETE PIPE  
 HDPE = HIGH DENSITY POLYETHYLENE PIPE  
 DIP = DUCTILE IRON PIPE  
 SW/FM = SEWER FORCE MAIN  
 WM = WATERMAIN  
 CONC = CONCRETE  
 ASPH = ASPHALT  
 INV = INVERT  
 ELEV = ELEVATION  
 -OHW = OVERHEAD WIRES  
 -TOE = TOE OF SLOPE  
 -TOB = TOP OF BANK  
  = CONCRETE  
  = ASPHALT  
  = BUILDING  
  = MISC TREE  
  = PALM TREE

NOTE: TREE SIZES INDICATED ARE TRUNK DIAMETERS MEASURED AT CHEST HEIGHT. SYMBOL SIZE DOES NOT REFLECT ACTUAL CANOPY.

1. PRE-CONSTRUCTION MEETING SHALL BE HELD WITH THE CITY OF MARCO ISLAND PUBLIC WORKS ENGINEER, ENGINEER OF RECORD, MARCO ISLAND UTILITIES AND CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION.
2. ALL CONSTRUCTION AND INSTALLATION OF MATERIAL AND EQUIPMENT SHALL BE IN CONFORMANCE WITH THE PLANS AND SPECIFICATIONS PREPARED BY THE ENGINEER OF RECORD. SUBSTITUTIONS AND DEVIATIONS SHALL BE PERMITTED ONLY WHEN WRITTEN APPROVAL HAS BEEN RECEIVED FROM THE ENGINEER OF RECORD.
3. SHOP DRAWINGS OF ALL MATERIALS BEING USED SHALL BE SUBMITTED TO THE ENGINEER OF RECORD PRIOR TO INSTALLATION.
4. CONSTRUCTION INSPECTION IS REQUIRED AND WILL BE PROVIDED BY THE ENGINEER OF RECORD AND/OR MARCO ISLAND PUBLIC WORKS DEPT. FOR UNDERGROUND CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER AT LEAST 48 HOURS BEFORE BEGINNING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER AT LEAST 48 HOURS BEFORE EACH REQUIRED INSPECTION OF ALL PHASES OF THE WORK.
5. CONTRACTOR MUST NOTIFY THE CITY OF MARCO ISLAND PUBLIC WORKS DEPARTMENT AND/OR MARCO ISLAND UTILITIES, AS APPLICABLE, 48 HOURS PRIOR TO CONNECTING INTO ANY EXISTING STRUCTURES OR PERFORMING ANY TESTS.
6. THE CONTRACTOR SHALL MAINTAIN A CURRENT SET OF CONSTRUCTION PLANS ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION.
7. THE LOCATION OF ALL EXISTING UTILITIES ON THE PLAN ARE APPROXIMATE AND HAVE BEEN SHOWN FROM PLANS OF RECORD WHERE AVAILABLE. THE CONTRACTOR SHALL LOCATE AND EXPOSE ALL EXISTING UTILITIES TO BE CONNECTED SUFFICIENTLY AHEAD OF CONSTRUCTION TO ALLOW REDESIGN BY THE ENGINEER, IF SUCH UTILITIES ARE FOUND TO BE DIFFERENT THAN SHOWN ON THE PLANS.
8. THE CONTRACTOR SHALL NOTIFY LEE COUNTY ELECTRIC COOPERATIVE, INC., COMCAST, CENTURYLINK, MARCO ISLAND UTILITIES, SUMMIT BROADBAND, AND ANY OTHER UTILITY COMPANY WHICH MAY HAVE THEIR UTILITIES AND ANY OTHER AREAS 48 HOURS BEFORE BEGINNING CONSTRUCTION.
9. UTILITY AGENCIES / OWNERS:
- | COMPANIES                                    | TELEPHONE NUMBERS   | CONTACT PERSON  |
|--|---------------------|-----------------|
| LEE COUNTY ELECTRIC COOPERATIVE INC.         | 1-239-656-2271      | SHI SHARMA      |
| FLORIDA POWER & LIGHT COMPANY (DISTRIBUTION) | 1-239-353-6046      | ANDY WHITLEY    |
| CENTURYLINK                                  | 1-239-263-6278      | ROB FRANCMAY    |
| COMCAST CABLE COMMUNICATIONS, INC.           | 1-772-567-3473      | MICHAEL BROOKS  |
| MARCO ISLAND UTILITIES                       | 1-239-389-5187      | BART BRADSHAW   |
| HERITAGE OPERATING, L.P./DBA BALGAS          | 1-904-280-1996 X-23 | BILL TATE       |
| SUMMIT BROADBAND                             | 1-239-872-8965      | MICHELLE NOBLES |
| MARCO ISLAND UTILITY (EMERGENCY)             | 1-239-404-8289      | DEAN HUDDLESTON |
|  | 1-239-394-3168      |                 |
10. COORDINATE UTILITY RELOCATIONS WITH AFFECTED UTILITY COMPANIES.
11. COORDINATE TREE REMOVAL WITH PROPERTY OWNERS.
12. COORDINATE STRUCTURE DEMOLITION AND TRAFFIC SIGN RELOCATION WITH CITY PUBLIC WORKS DEPARTMENT.
13. THE SEQUENCE OF CONSTRUCTION SHALL BE SUCH THAT ALL UNDERGROUND INSTALLATION OF EVERY KIND, (INCLUDING SPRINKLERS) SHALL BE PLACED BENEATH THE PAVEMENT AND ITS EDGES PRIOR TO THE CONSTRUCTION OF THE PAVEMENT. THE PAVEMENT SHALL NOT BE CUT WITHOUT PRIOR APPROVAL OF THE PUBLIC WORKS DIRECTOR.
14. ALL CONDUITS NECESSARY FOR ELECTRIC, CABLE TELEVISION, TELEPHONE, STREET LIGHTING, ETC., SHALL BE INSTALLED PRIOR TO PAVEMENT CONSTRUCTION.
15. ALL ELEVATIONS REFER TO NORTH AMERICAN VERTICAL DATUM OF 1988.
16. SIGNING AND STRIPING SHALL BE IN ACCORDANCE WITH U.S.D.O.T. F.H.W.A. MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES. ALL PAVEMENT MARKINGS WITHIN PUBLIC R.O.W. SHALL BE THERMOPLASTIC PER F.D.O.T. SPECIFICATIONS.
17. CONTRACTOR SHALL PROTECT ALL PERMANENT REFERENCE MONUMENTS AND TAKE ALL PRECAUTIONS NECESSARY TO AVOID DISTURBING SURVEY MARKERS.
18. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF TRAFFIC IN ACCORDANCE WITH CITY AND STATE REQUIREMENTS. PROVIDE STEEL PLATES FOR TEMPORARY TRAFFIC COVERS OVER EXCAVATIONS.
19. ALL ASPHALT PAVEMENT CONSTRUCTION AND OVERLAY SHALL CONFORM TO F.D.O.T. CURRENT SPECIFICATIONS.
- A. BASE: MATERIALS FOR AGGREGATE BASE SHALL BE CRUSHED ROCK AND ROCK DUST (FDOT, SECTION 204).
- B. TACK COAT: TACK COAT MATERIAL TO COMPLY WITH FDOT, SECTION 300.
- C. ASPHALT CONCRETE: ASPHALT CONCRETE TO COMPLY WITH FDOT, SECTIONS 320, 330. CONSTRUCTION OF THE PAVEMENT SHALL COMPLY WITH FDOT, SECTION 334.
- D. MILLING OF EXISTING ASPHALT CONCRETE TO COMPLY WITH FDOT, SECTION 327.
20. CEMENT CONCRETE PAVEMENT SHALL COMPLY WITH FDOT SECTION 352.
21. DEMOLITION NOTES:
- A. THE CONTRACTOR SHALL PROTECT ALL UTILITIES AND OTHER IMPROVEMENTS SHOWN ON THESE PLANS AND ALL OTHER UTILITIES AND OTHER IMPROVEMENTS NOT SHOWN. THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR REPAIRS OF UTILITIES AND OTHER IMPROVEMENTS DAMAGED DURING CONSTRUCTION AND SHALL MAINTAIN SUFFICIENT PROTECTION TO ALL UTILITIES REQUIRED TO PROTECT THEM FROM DAMAGE AND TO PROTECT THE PUBLIC DURING CONSTRUCTION.
- B. WATER SPRINKLING AND OTHER SUITABLE METHODS SHALL BE USED FOR DUST SUPPRESSION. WATER SHALL NOT BE USED WHEN IT CREATES HAZARDOUS OR OBJECTIONABLE CONDITIONS SUCH AS FLOODING, EROSION, SEDIMENTATION, OR POLLUTION.
- C. COMPLETELY REMOVE PAVEMENT, SIDEWALKS, CURBS, AND GUTTERS DESIGNATED TO BE REMOVED. REMOVE PAVEMENT, SIDEWALKS, CURBS, AND GUTTERS BY METHODS THAT WILL ASSURE CLEAN UNIFORM BREAKS AT PAVEMENT, SIDEWALKS, CURBS, AND GUTTERS NOT REMOVED ARE ALONG STRAIGHT LINES. LEAVE FACES OF REMAINING PAVEMENT, SIDEWALK, CURB, AND GUTTER SURFACES APPROXIMATELY VERTICAL.
- D. DEMOLITION AND REMOVAL OF DEBRIS SHALL BE CONDUCTED TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES WHICH SHALL NOT BE CLOSED OR OBSTRUCTED EXCEPT IN ACCORDANCE WITH THE WORK ZONE TRAFFIC CONTROL PLAN, OR WITH PERMISSION FROM THE CITY OF MARCO ISLAND. ALTERNATE ROUTES SHALL BE PROVIDED AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS. SITE DEBRIS, RUBBISH, AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS SHALL BE REMOVED AND DISPOSED OF IN COMPLIANCE WITH ALL LAWS AND REGULATIONS. BURNING OF REMOVED MATERIALS FROM DEMOLISHED STRUCTURES SHALL NOT BE PERMITTED.
- E. THE CONTRACTOR SHALL PROVIDE PATCHING, REPLACING, REPAIRING, AND REFINISHING OF DAMAGED AREAS INVOLVED IN DEMOLITION AS NECESSARY TO MATCH THE EXISTING ADJACENT SURFACES. THE CONTRACTOR SHALL REPAIR ALL DAMAGES CAUSED TO ADJACENT FACILITIES BY DEMOLITION AT NO ADDITIONAL COST TO THE CITY OF MARCO ISLAND. AFTER PATCHING AND REPAIRING HAS BEEN COMPLETED, THE CONTRACTOR SHALL CAREFULLY CLEAN ADJOINING WORK AND REPAIR ANY DAMAGE CAUSED BY SUCH CLEANING OPERATIONS.
- F. DURING AND UPON COMPLETION OF WORK, THE CONTRACTOR SHALL PROMPTLY REMOVE UNUSUAL TOOLS AND EQUIPMENT, SURPLUS MATERIALS, RUBBISH, DEBRIS, AND DUST AND SHALL LEAVE AREAS AFFECTED BY WORK IN A CLEAN CONDITION. CLEAN ADJACENT STRUCTURES AND FACILITIES OF DUST, DIRT, AND DEBRIS CAUSED BY DEMOLITION AND RETURN ADJACENT AREAS TO CONDITION EXISTING PRIOR TO START OF WORK. THE CONTRACTOR SHALL CLEAN AND SWEEP THE AFFECTED PORTIONS OF ROADS, STREETS, SIDEWALKS AND PASSAGEWAYS DAILY.
- G. COORDINATE REMOVAL OF PRIVATE LANDSCAPING FEATURES ON R.O.W. WITH PROPERTY OWNER UNLESS OTHERWISE DIRECTED BY CITY OF MARCO ISLAND.
- H. COORDINATE UTILITY RELOCATIONS WITH AFFECTED UTILITY COMPANIES.
- I. COORDINATE STRUCTURE DEMOLITION AND TRAFFIC SIGN REMOVAL WITH CITY PUBLIC WORKS DEPARTMENT.
- J. SILT BARRIERS SHALL BE INSTALLED IN LOCATIONS AND FOR DURATION NECESSARY ACCORDING TO STAGING OF DEMOLITION AND/OR CONSTRUCTION. SILT BARRIERS SHALL BE MAINTAINED IN A FUNCTIONAL CONDITION FOR THE DURATION OF THEIR USE.
22. ALL PAVEMENTS, SIDEWALKS, CURBS, AND SIMILAR HARD SURFACES CUT OR REMOVED AS A CONSEQUENCE OF STORM DRAINAGE CONSTRUCTION SHALL BE RESTORED ACCORDING TO STANDARD DETAILS AND TO ORIGINAL LINES AND GRADES, EXCEPT WHERE REGRADING IS NECESSARY TO CORRECT LOCAL DRAINAGE, OR AS OTHERWISE NOTED.
23. CONCRETE SIDEWALK NOTES:
- A. USE CLASS I CONCRETE MEETING THE REQUIREMENTS OF FDOT SECTION 347 PORTLAND CEMENT CONCRETE-CLASS I
- B. SIDEWALK CONSTRUCTION REFER TO FDOT SECTION 522 AND CITY OF MARCO ISLAND PUBLIC WORKS STANDARDS.
- C. FOR ALL STEEL REINFORCEMENT REQUIRED BY THE PLANS, MEET REQUIREMENTS OF FDOT SECTION 415. WELDED WIRE MESH IS REQUIRED FOR ANY CONCRETE DRIVEWAYS.
- D. COMPACT FILL AREAS, INCLUDING CUT AREAS UNDER THE SIDEWALK THAT HAVE BEEN EXCAVATED MORE THAN 8" BELOW THE BOTTOM OF SIDEWALK TO A MINIMUM OF 95% OF AASHTO99 DENSITY. THE AREA TO BE COMPACTED IS DEFINED AS THE AREA DIRECTLY UNDER THE SIDEWALK AND 1 FT. BEYOND EACH SIDE OF THE SIDEWALK WHEN R.O.W. ALLOWS.
- E. FOR EXPANSION AND CONTRACTION JOINT SPECIFICATIONS REFER TO FDOT SECTION 522-5 JOINTS.
- F. PLACE THE CONCRETE IN THE FORMS, AND TAMP AND SPADE CONCRETE TO PREVENT HOPECOMBING AND UNTIL THE TOP OF THE STRUCTURE CAN BE FLOATED SMOOTH AND THE EDGES ROUNDED TO THE RADIUS SHOWN IN THE PLANS.
- G. FOR FINISHING SPECIFICATIONS REFER TO FDOT SECTION 522-7 FINISHING.
- H. FOR CURING SPECIFICATIONS REFER TO FDOT SECTION 520-8 CURING.

SURVEYOR'S REPORT – SURVEY PROVIDED BY E.F. GAINES SURVEYING SERVICES, INC.

1. DISTANCES ARE IN FEET AND DECIMALS THEREOF.
2. HORIZONTAL CONTROL FOR THIS PROJECT IS BASED ON THE STATE PLANE COORDINATE SYSTEM, FLORIDA EAST ZONE, NORTH AMERICAN DATUM OF 1983 (NAD 83) UTILIZING RTK GPS EQUIPMENT OPERATING ON THE TRIMBLE VRS NETWORK, U.S. SURVEY FEET.
3. ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) AND WERE DERIVED FROM NATIONAL GEODETIC SURVEY BENCHMARKS "872 4967 E" USING THE PUBLISHED ELEVATION OF 4.81 FEET.
4. THE FOLLOWING SOURCE OF INFORMATION AND DATA WAS USED IN THE PREPARATION OF THIS SURVEY:  
MARCO BEACH UNIT TEN SUBDIVISION PLAT RECORDED AT PLAT BOOK 6, PAGE 74, PUBLIC RECORDS OF COLLIER COUNTY, FLORIDA.
5. LIMITATIONS PERTAINING TO INFORMATION PRESENTED ON THIS SURVEY INCLUDE:
  - A. UNDERGROUND UTILITIES HAVE NOT BEEN INVESTIGATED, LOCATED OR CONFIRMED, EXCEPT AS SHOWN HEREON.
  - B. PIPES DESIGNATED AS "RCP" (REINFORCED CONCRETE PIPE) ARE ASSUMED TO BE REINFORCED BUT THE REINFORCING ELEMENT HAS NOT BEEN OBSERVED OR CONFIRMED.
  - C. ENVIRONMENTAL ASSESSMENTS OR AUDITS, IF ANY, HAVE NOT BEEN REFLECTED ON THIS SURVEY.
  - D. THE LINES SHOWN ON THE SURVEY MAP REPRESENTING RIGHT-OF-WAY LINES, PROPERTY LINES AND EASEMENT LINES ARE BASED ON THE ITEMS LISTED IN REPORT ITEM 4 AND FOUND MONUMENTATION. THESE LINES ARE APPROXIMATE IN THAT EACH INDIVIDUAL LINE HAS NOT BEEN SURVEYED IN THE FIELD.
  - E. LANDS SHOWN HEREON ARE SUBJECT TO EASEMENTS, RESTRICTIONS, RESERVATIONS AND RIGHTS-OF-WAY (RECORDED, UNRECORDED, WRITTEN AND UNWRITTEN). THIS SURVEYOR HAS NOT PERFORMED NOR BEEN PROVIDED WITH A TITLE SEARCH FOR THESE PROJECT AREAS.
6. DATE OF FIELD WORK: SEPTEMBER 3, 2021

## INDEX, NOTE AND LEGEND PLAN

**AMERICAN ENGINEERING CONSULTANTS  
OF MARCO ISLAND, INC.**

## E RESIDENCES

17 & 731 S. COLLIER BOULEVARD  
MARCO ISLAND, FLORIDA 34145

SHEET  
**C-1**  
OF  
**8**

△	REV. AFTER CITY COMMENTS	02/01/23	KAS
△#	REVISIONS	DATE	INIT

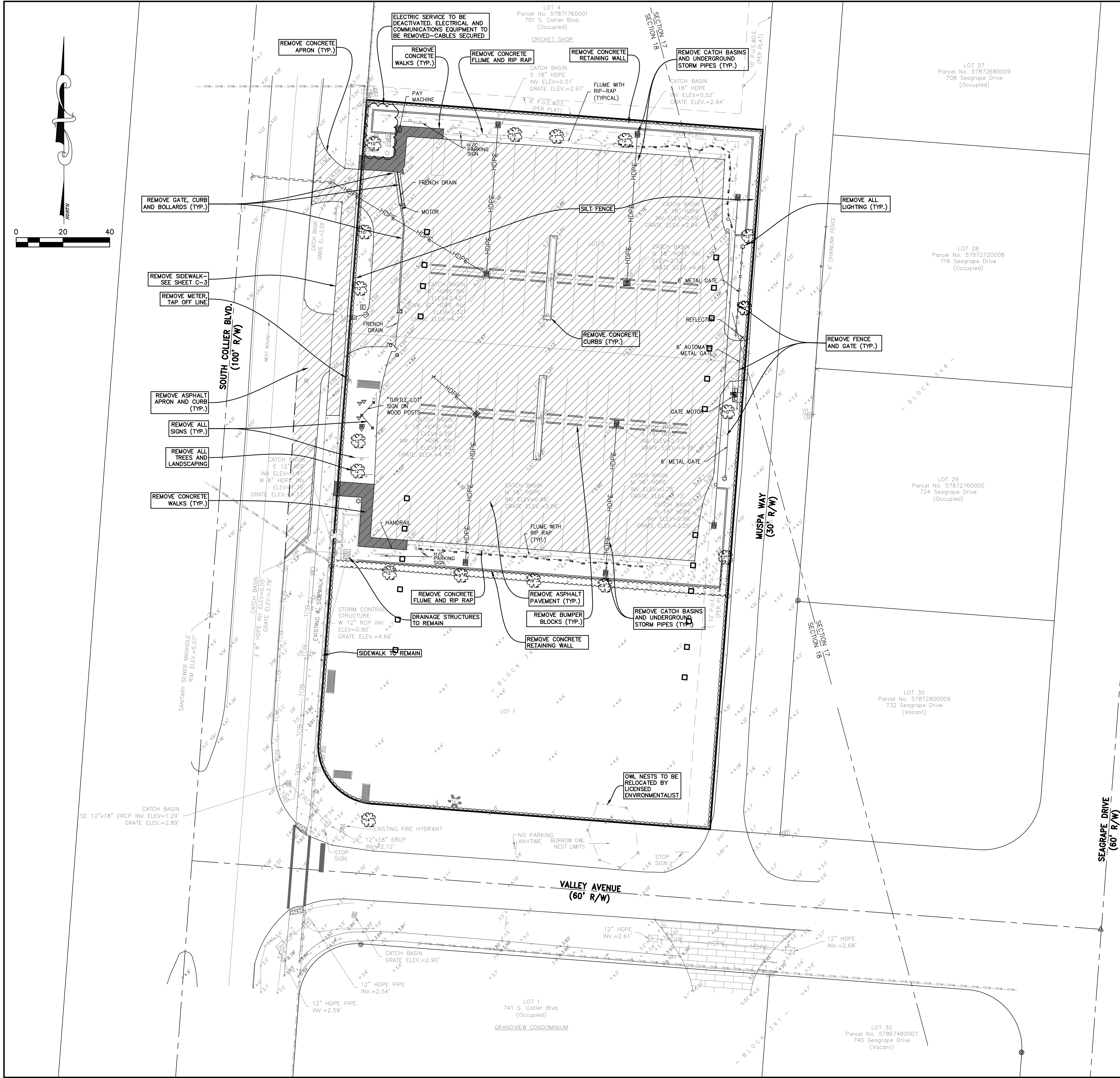
MARTIN D. PINCKNEY  
FLORIDA P.E. # 38350

DATE :	08-DEC-79	JOB NO:	10983-001-01
NITS		DEF	000

## RESULTS



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**LEGEND**

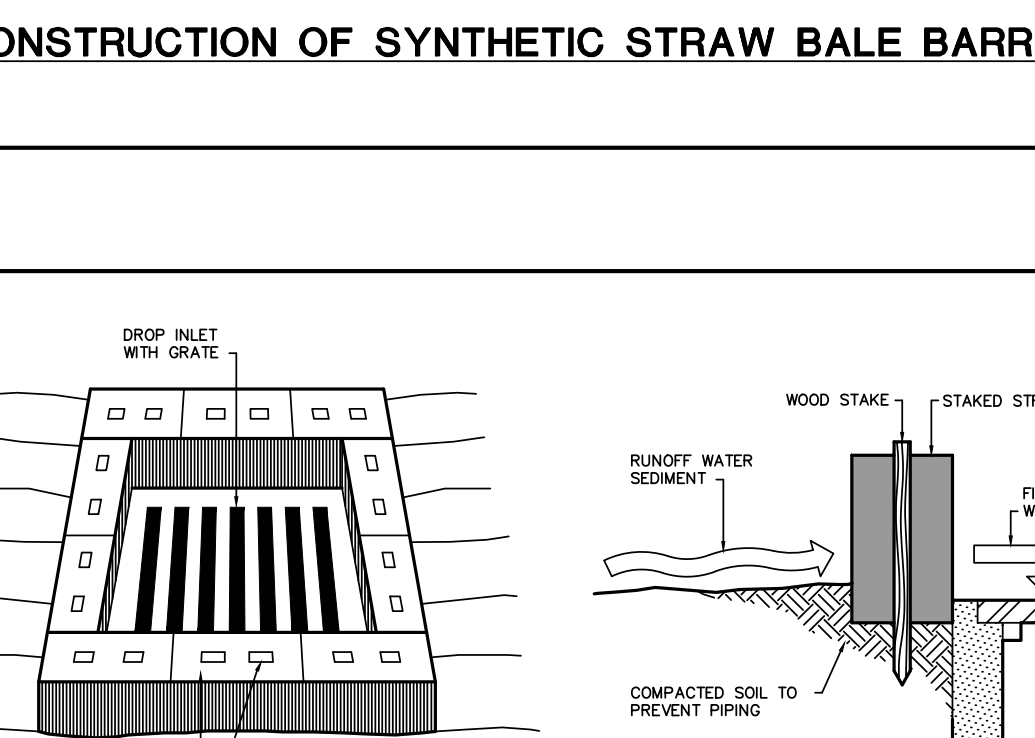
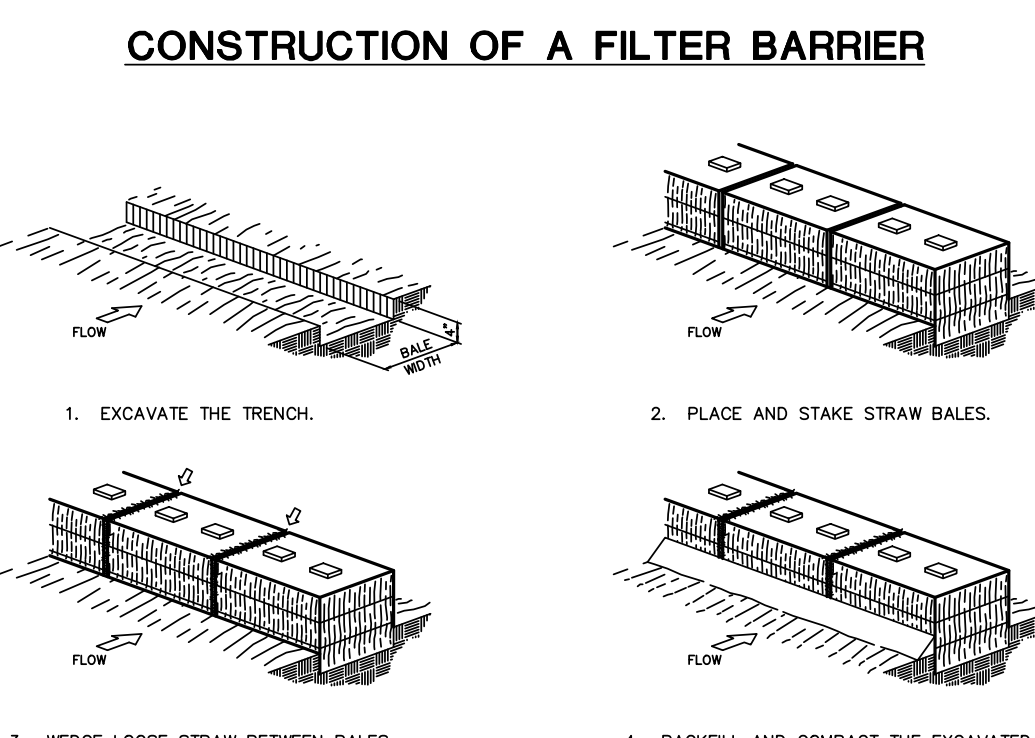
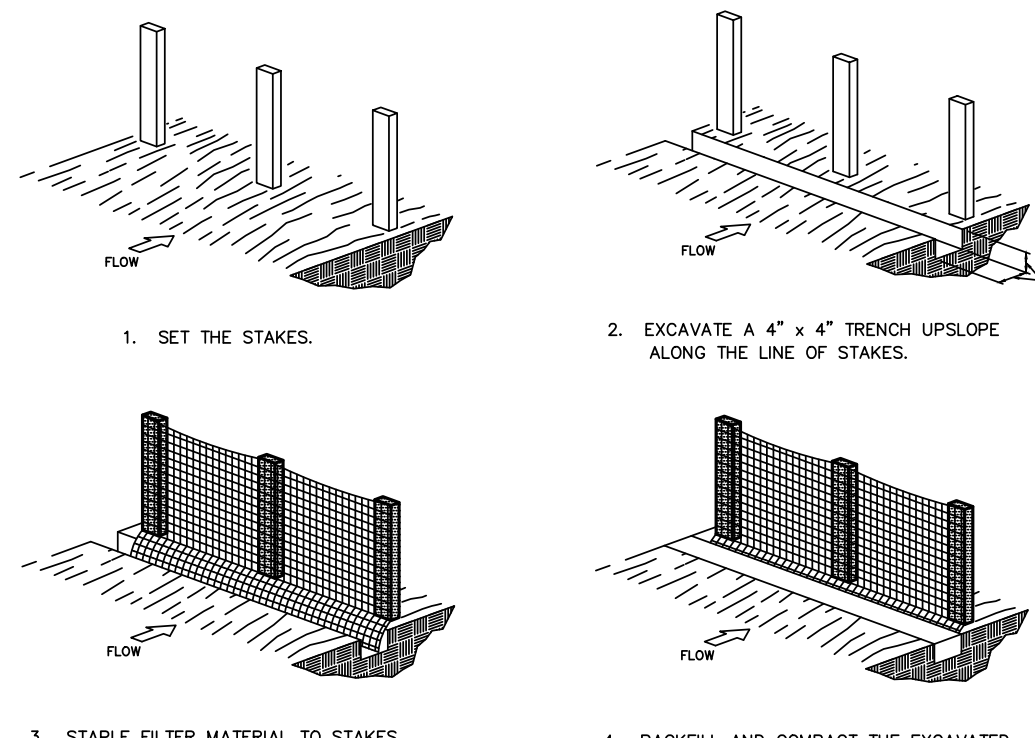
ASPHALT/CONCRETE TO BE REMOVED

SILT BARRIER

STRAW BALES

**NOTES**

1. SAWCUT AND REMOVE ASPHALT UP TO EDGE OF COLLIER BOULEVARD AND ALLEYWAY.
2. COORDINATE CONSTRUCTION STAGING AND FENCING WITH OWNER.
3. COORDINATE STRUCTURE DEMOLITION AND TRAFFIC SIGN REMOVAL WITH OWNER.
4. LOCATION OF SILT BARRIER IS APPROXIMATE ONLY. CONTRACTOR SHALL LOCATE SILT BARRIER IN ANY LOCATION NECESSARY TO PREVENT SOIL FROM LEAVING SITE OR ENTERING STORM DRAINS.
5. SILT BARRIERS SHALL BE INSTALLED ONLY IN LOCATIONS AND FOR DURATION'S NECESSARY ACCORDING TO STAGING OF DEMOLITION AND/OR CONSTRUCTION.
6. SILT BARRIERS SHALL BE MAINTAINED IN A FUNCTIONAL CONDITION FOR THE DURATION OF THEIR USE.



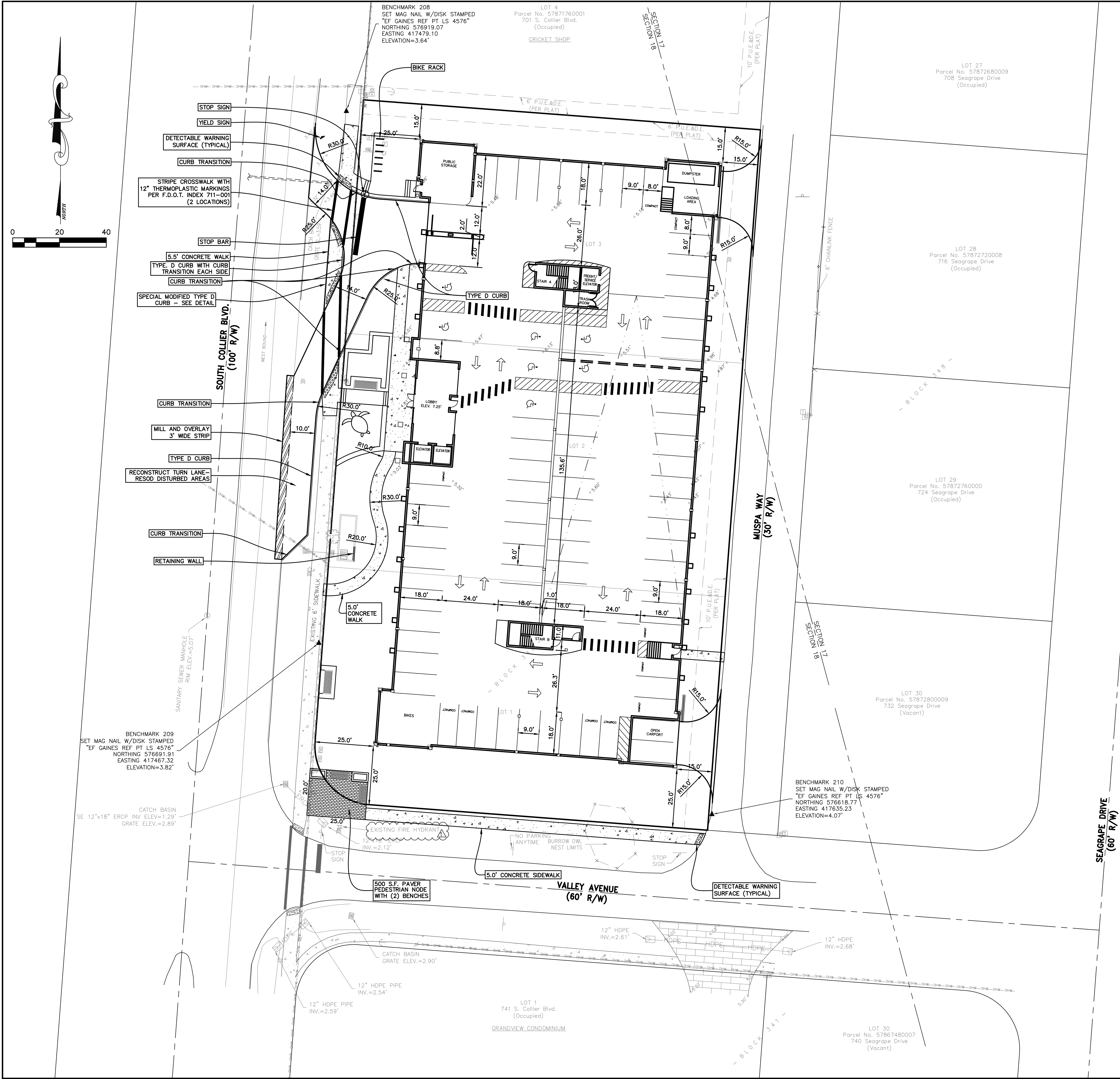
**SPECIFIC APPLICATION**

THIS METHOD OF INLET PROTECTION IS APPLICABLE WHERE THE INLET DRAINS A RELATIVELY FLAT AREA (SLOPES NO GREATER THAN 5 PERCENT) WHERE SHEET OR OVERLAND FLOWS (NOT EXCEEDING 0.5 CFS) ARE TYPICAL. THE METHOD SHALL NOT APPLY TO INLETS RECEIVING CONCENTRATED FLOWS, SUCH AS IN STREETS OR HIGHWAY MEDIANS.

**NOTES:**

1. FILTER BARRIERS SHALL BE INSTALLED IN LOCATIONS AND FOR DURATION NECESSARY ACCORDING TO STAGING OF DEMOLITION AND/OR CONSTRUCTION. FILTER BARRIERS SHALL BE MAINTAINED IN A FUNCTIONAL CONDITION FOR THE DURATION OF THEIR USE.
2. WATER SPRINKLING AND OTHER SUITABLE METHODS SHALL BE USED FOR DUST SUPPRESSION. WATER SHALL NOT BE USED WHEN IT CREATES HAZARDOUS OR OBJECTIONABLE CONDITIONS SUCH AS FLOODING, EROSION, SEDIMENTATION, OR POLLUTION.
3. FOR PERMANENT EROSION CONTROL, ALL DISTURBED SOIL AREAS SHALL BE RE-SEEDING WITH BAHIA OR ST. AUGUSTINE TO MATCH EXISTING.
4. CITY PERSONNEL TO INSTALL OIL AND DEBRIS COLLECTING SKIMMERS IN EACH INLET FOR PERMANENT POLLUTION PREVENTION METHOD.

AMERICAN ENGINEERING CONSULTANTS OF MARCO ISLAND, INC. CERTIFICATE OF AUTHORIZATION NUMBER: 264446 www.AEC-IL.com		DESIGNED BY : K. SCHMADTKE		DATE : SEPTEMBER 13, 2022		JOB NO. : 10985-C01-01		REV. AFTER CITY COMMENTS 10/10/22 KAS		DATE INIT	
E RESIDENCES 717 & 731 S. COLLIER BOULEVARD MARCO ISLAND, FLORIDA 34145		DRAWN BY : M. PINCKNEY		DATE : SEPTEMBER 13, 2022		JOB NO. : 10985-C01-01		REV. AFTER CITY COMMENTS 10/10/22 KAS		DATE INIT	
SHEET C-12 OF 8											



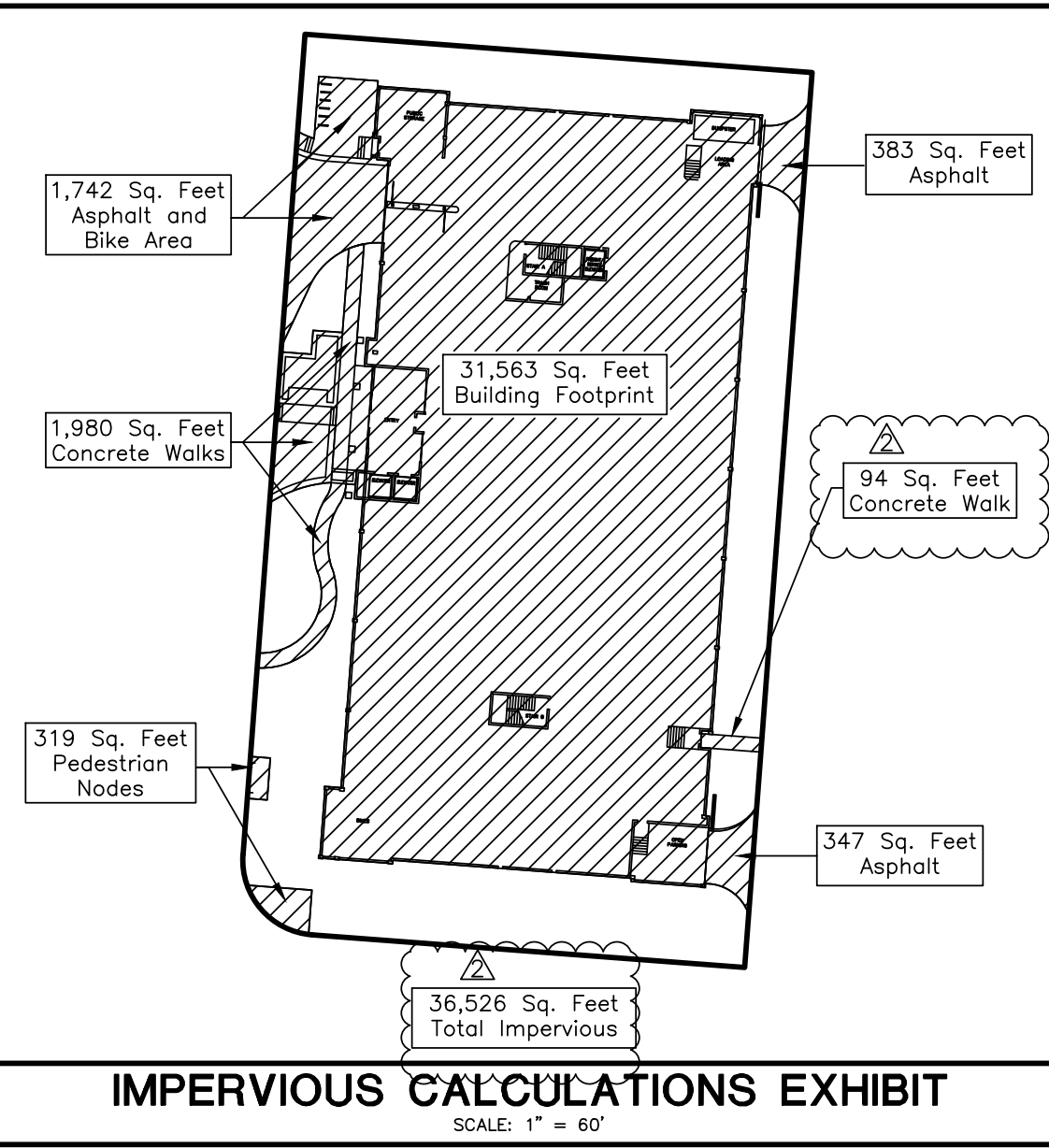
LEGEND	
	NEW ASPHALT
	NEW WALKWAYS

BUILDING SETBACK MATRIX		
DESCRIPTION/USE	REQUIRED	PROVIDED
FRONT (COLLIER BLVD.)	25'	25'
FRONT (VALLEY AVE.)	25'	25'
REAR (MUSPA WAY)	15'	15'
SIDE	15'	15'

LANDSCAPE BUFFER MATRIX		
DESCRIPTION/USE	REQUIRED	PROVIDED
R.O.W. BUFFER (COLLIER BLVD.)	15'	15'
R.O.W. BUFFER (VALLEY AVE.)	10'	10'
ALLEY BUFFER (MUSPA WAY)	10'	10'

PARKING SUMMARY			
DESCRIPTION/USE	PARKING RATIO	NUMBER UNITS	SPACES REQUIRED
RESTAURANT - SIT DOWN	1 SPACE/4 SEATS	324	81
APARTMENTS	2 PER UNIT	14	28
TOTAL REQUIRED (BEFORE CREDITS)			109
HANDICAP REQUIRED	7 SPACE/250-300		7
BICYCLE RACK AND PEDESTRIAN ACCESS NODE			(-)3 SPACES
TOTAL REQUIRED (AFTER CREDITS)			106
TOTAL PROVIDED			218 REGULAR SPACES 26 COMPACT SPACES 7 HANDICAP SPACES 251 SPACES - INCLUDES 141 PAY TO PARK SPACES

SITE SUMMARY		
DESCRIPTION	AREA	% OF AREA
TOTAL IMPERVIOUS	36,526 SF	72%
TOTAL PERVIOUS	14,340 SF	28%
TOTAL SITE AREA	50,866 SF	100%
USE ZONE C-3		



- NOTES**
- ALL CROSSWALKS, STOP BARS, AND DIRECTIONAL ARROWS SHOWN BOLD TO BE RE-APPLIED AFTER ALL PAVEMENT WORK IS COMPLETE AND CURED.
  - PARKING SPACE STRIPING DIMENSIONS AND COLORS PER STANDARD DETAILS AND FDOT STANDARDS.
  - USE THERMOPLASTIC MEETING FDOT REQUIREMENTS FOR ALL PAVEMENT MARKINGS.
  - SIGNS MISSING OR DISTURBED DURING CONSTRUCTION TO BE REPLACED.
  - DIMENSIONS SHOWN ARE TO FACE OF CURB, EXTERIOR BUILDING WALL, AND NOMINAL PARKING SPACE SIZE UNLESS OTHERWISE NOTED.
  - SIGNING AND STRIPING SHALL BE IN ACCORDANCE WITH U.S.D.O.T. F.H.W.A. MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES. ALL PAVEMENT MARKINGS WITHIN PUBLIC R.O.W. SHALL BE THERMOPLASTIC PER F.D.O.T. SPECIFICATIONS.

AMERICAN ENGINEERING CONSULTANTS  
OF MARCO ISLAND, INC.  
CERTIFICATE OF AUTHORIZATION NUMBER: 26446  
MARCO ISLAND, FL (239) 394-1697  
www.AEC-IL.com

DESIGNED BY :  
K. SCHMADTKE

DRAWN BY :  
M. PINCKNEY

DATE :  
SEPTEMBER 13, 2023

REF. :  
10985-001-01

SDP

717 & 731 S. COLLIER BOULEVARD  
MARCO ISLAND, FLORIDA 34145

E RESIDENCES

SHEET  
C-3  
OF  
8

REV. AFTER CITY COMMENTS  
10/10/22 KAS

REV. AFTER CITY COMMENTS  
10/10/22 KAS

REVISIONS

DATE

INIT



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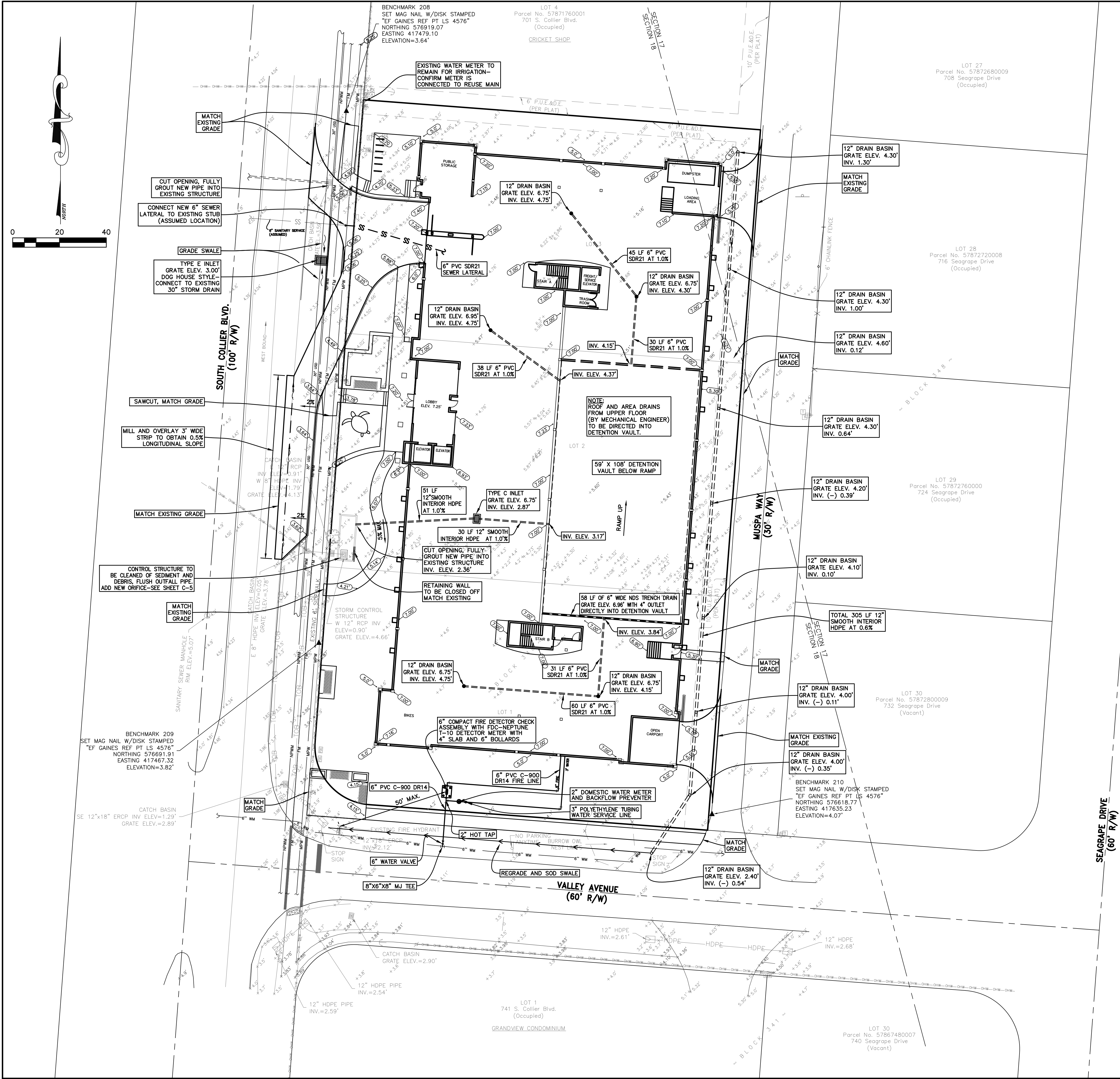
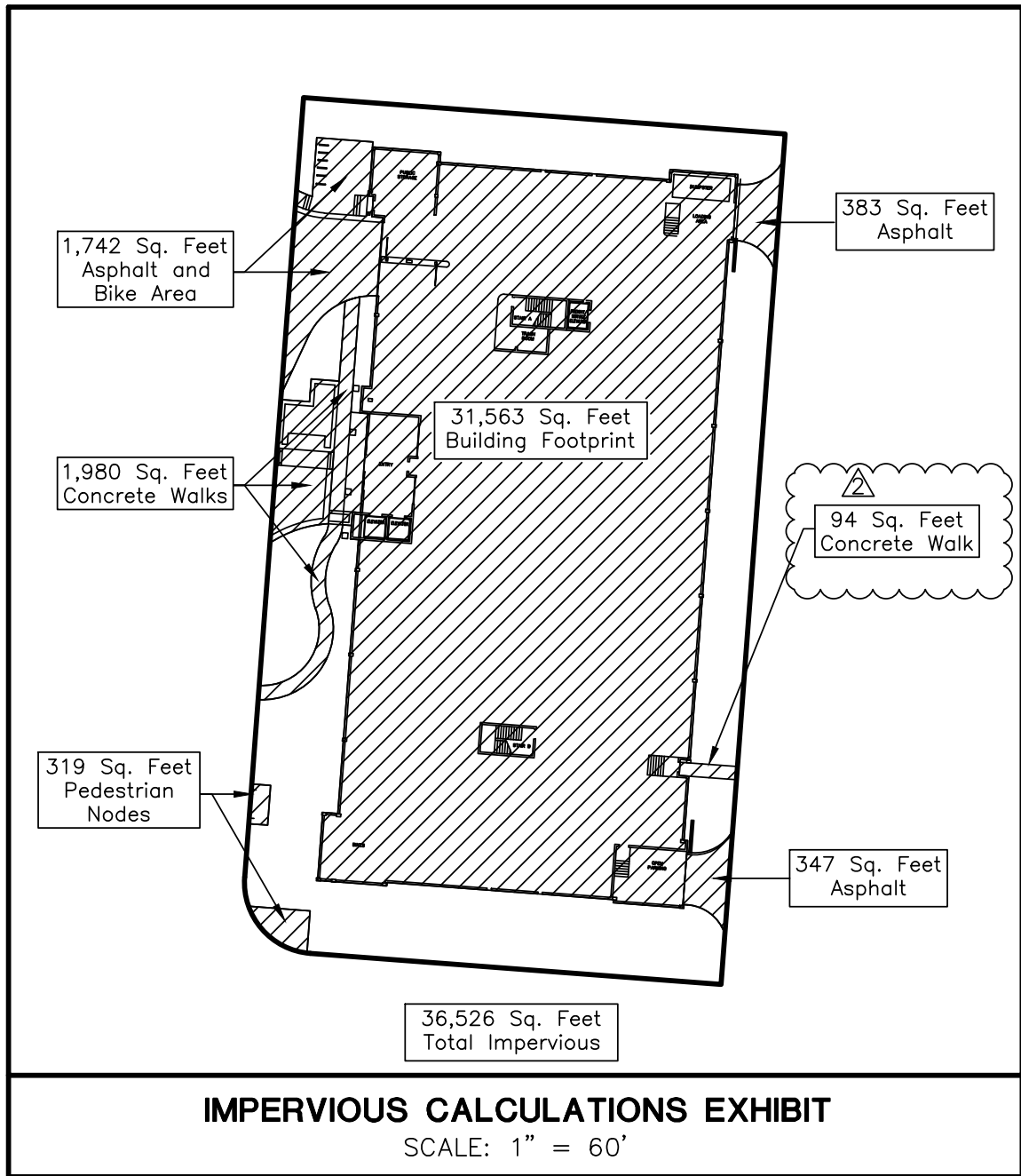


TABLE OF MINIMUM AND MAXIMUM SLOPES			
FEATURE	DIRECTION	MINIMUM	MAXIMUM
PARKING LOT PAVEMENT	LONGITUDINAL	0.5%	5%
	TRANSVERSE	0.5%	5%
ENTRANCE DRIVEWAY	LONGITUDINAL	1%	10%
	TRANSVERSE	0%	2%
WALKS	LONGITUDINAL	0%	5%
	TRANSVERSE	0%	2%
HANDICAP RAMPS	LONGITUDINAL	5%	8%
	TRANSVERSE	0%	1%
SODDED SLOPE		0%	33%
RIP-RAP SLOPE		0%	67%



AMERICAN ENGINEERING CONSULTANTS  
OF MARCO ISLAND, INC.  
CERTIFICATE OF AUTHORIZATION NUMBER: 26446  
www.AEC-IL.com  
573 BALD EAGLE DR.  
MARCO ISLAND, FL 33984-1697

DRAWN BY :  
K. SCHMADTKE

DESIGNED BY :  
M. PINCKNEY

APPROVED BY :  
MARTIN D. PINCKNEY

DATE :  
SEPTEMBER 13, 2023

JOB NO. :  
10985-001-01

SDP

REV. AFTER CITY COMMENTS  
10/10/23 KAS

REV. AFTER CITY COMMENTS  
10/10/22 KAS

REVISIONS

DATE

INIT

E RESIDENCES

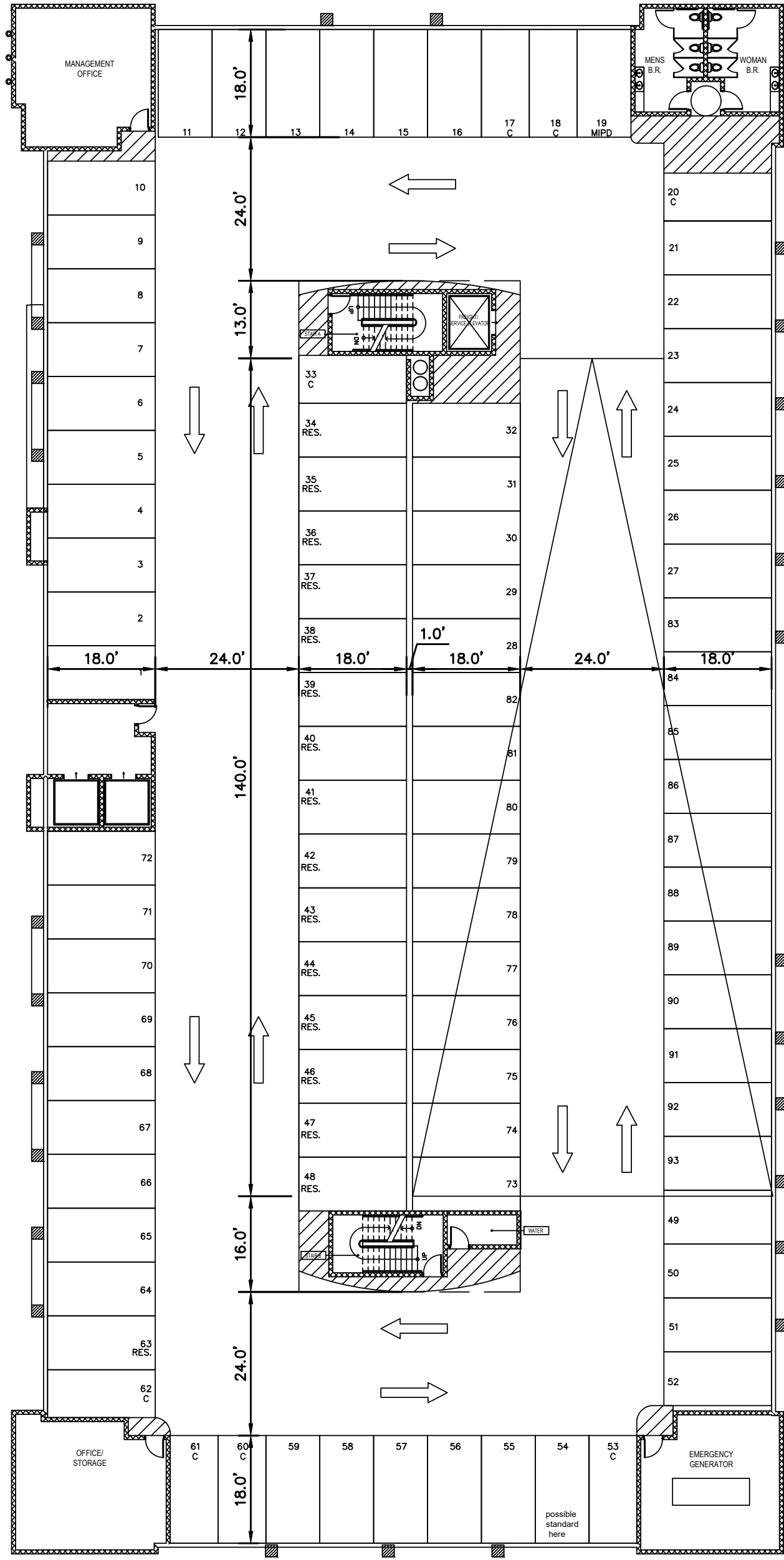
717 & 731 S. COLLIER BOULEVARD

MARCO ISLAND, FLORIDA 34145

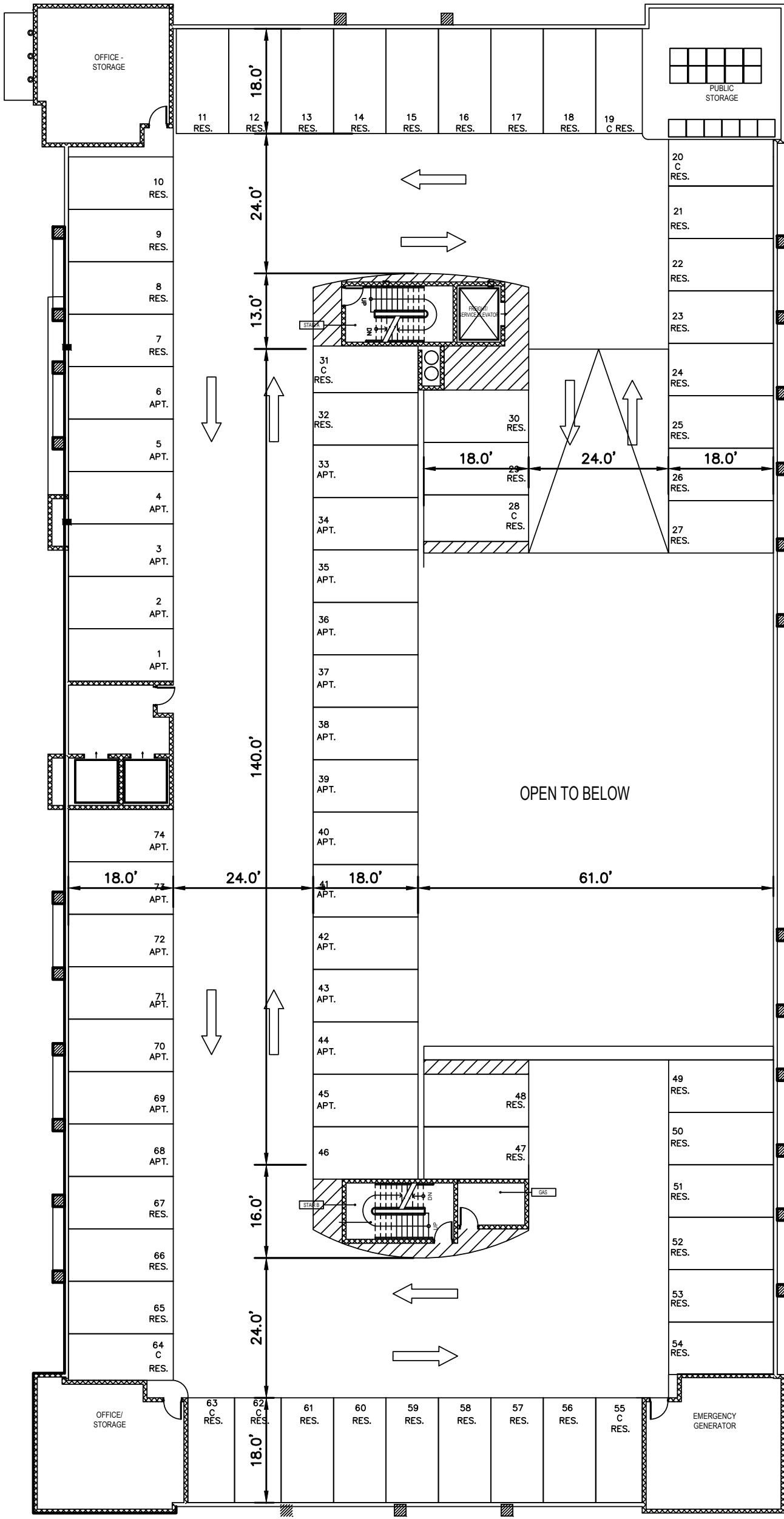
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C-4

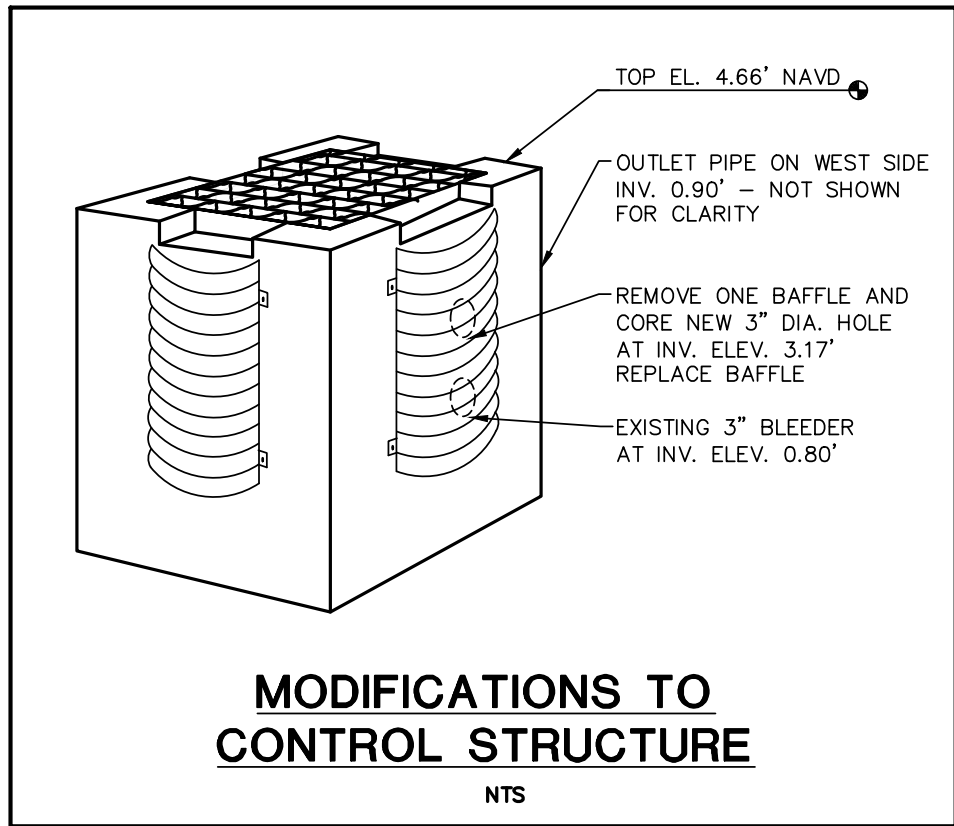
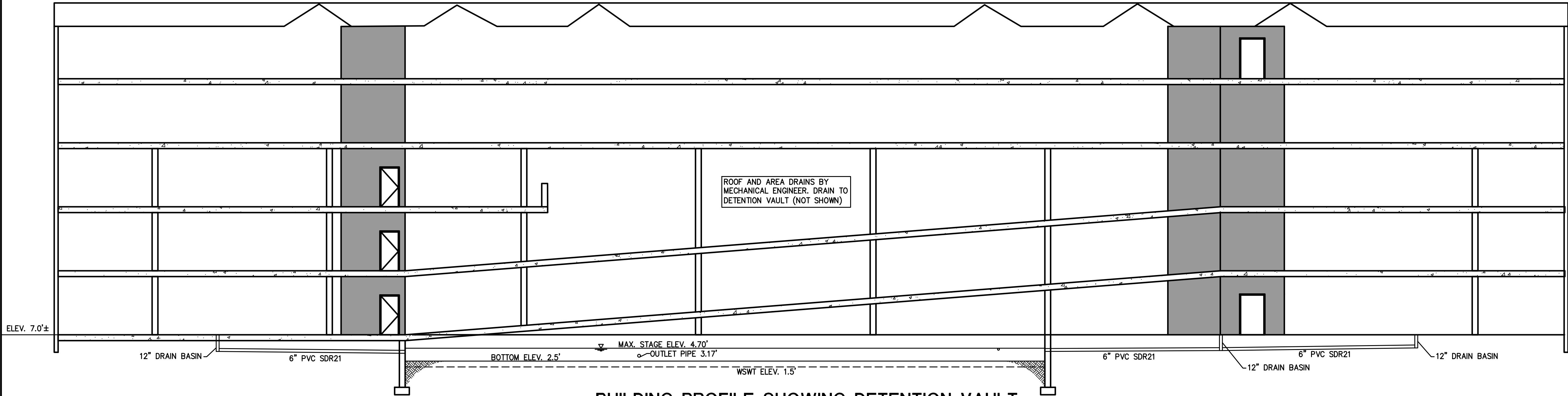
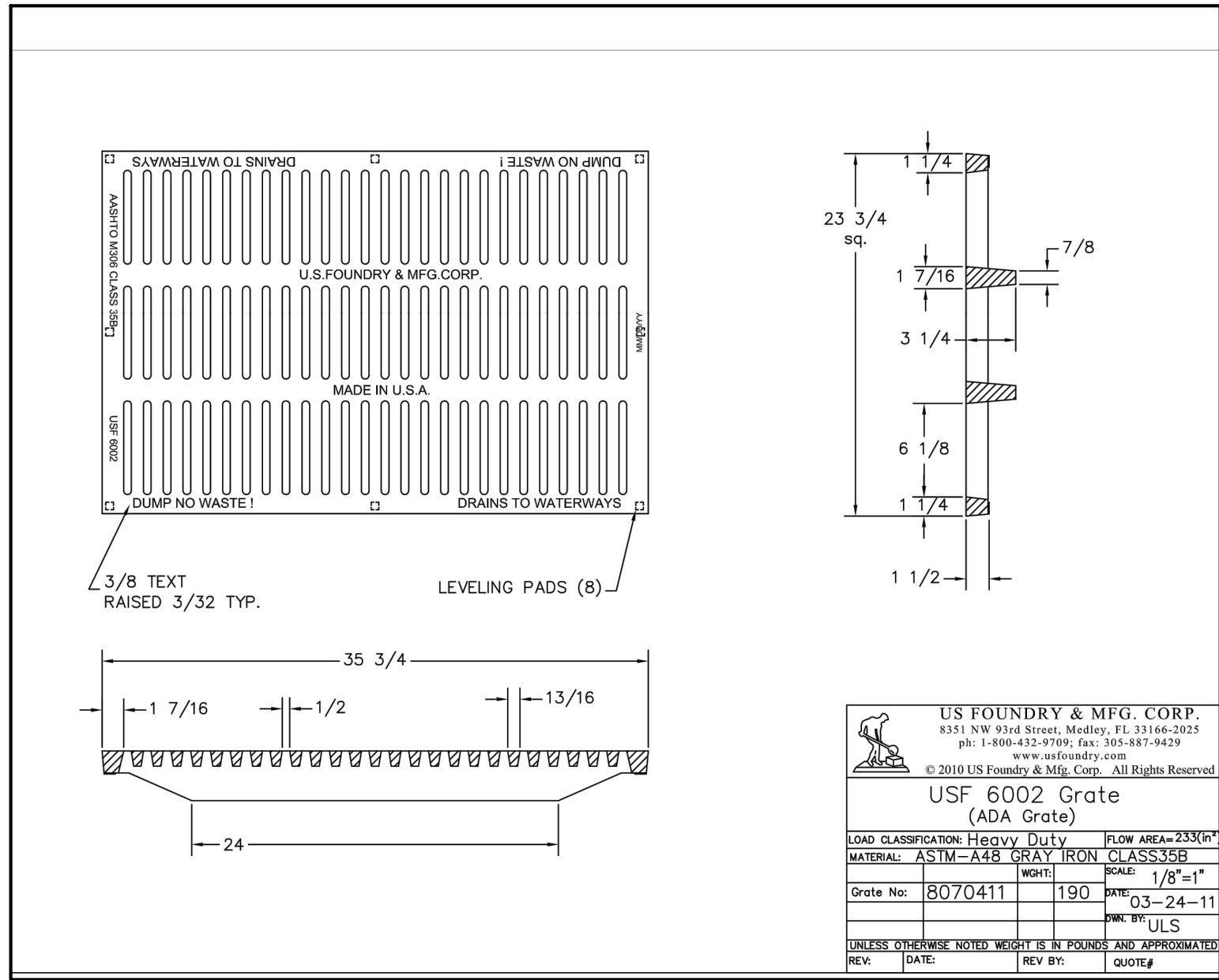
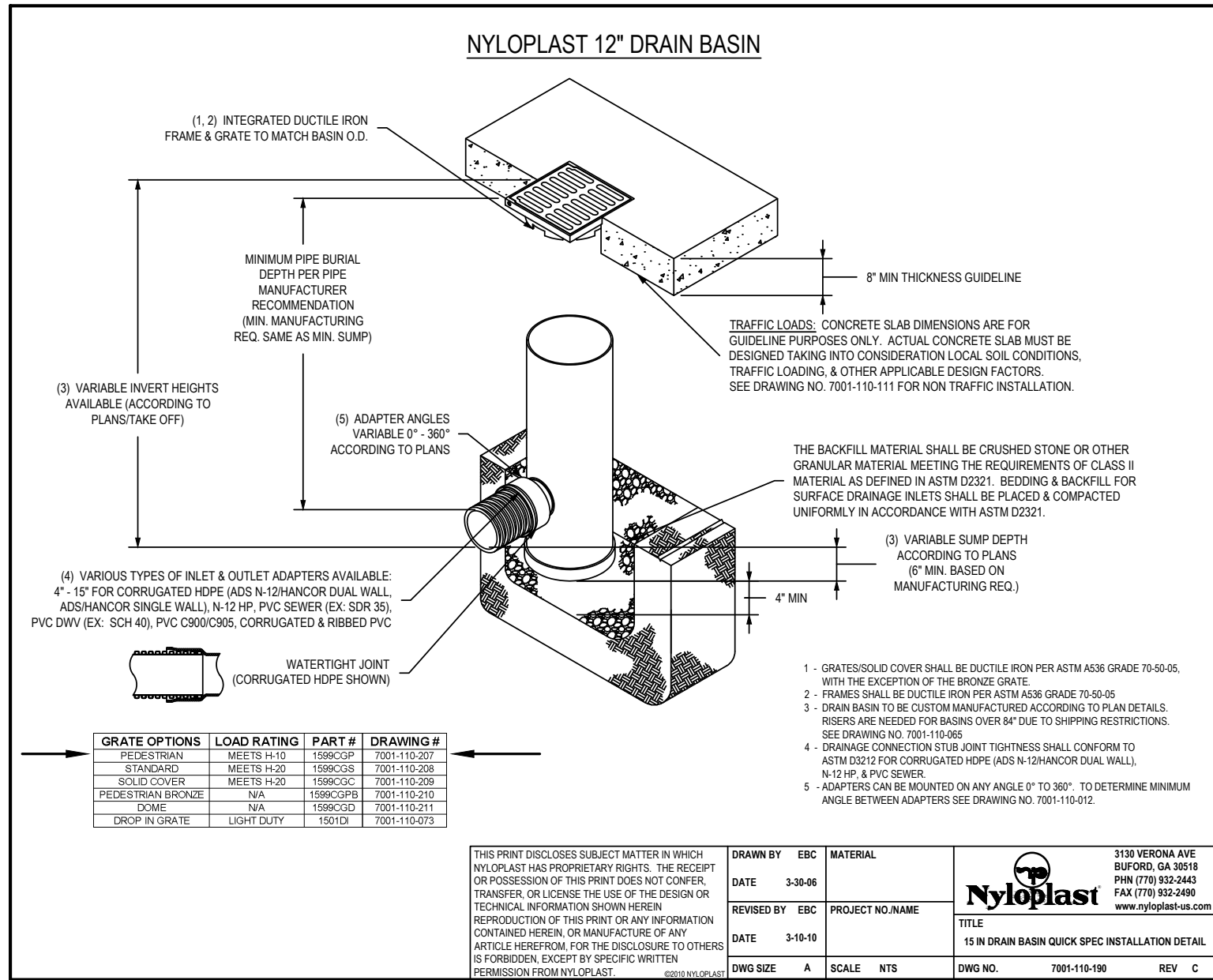
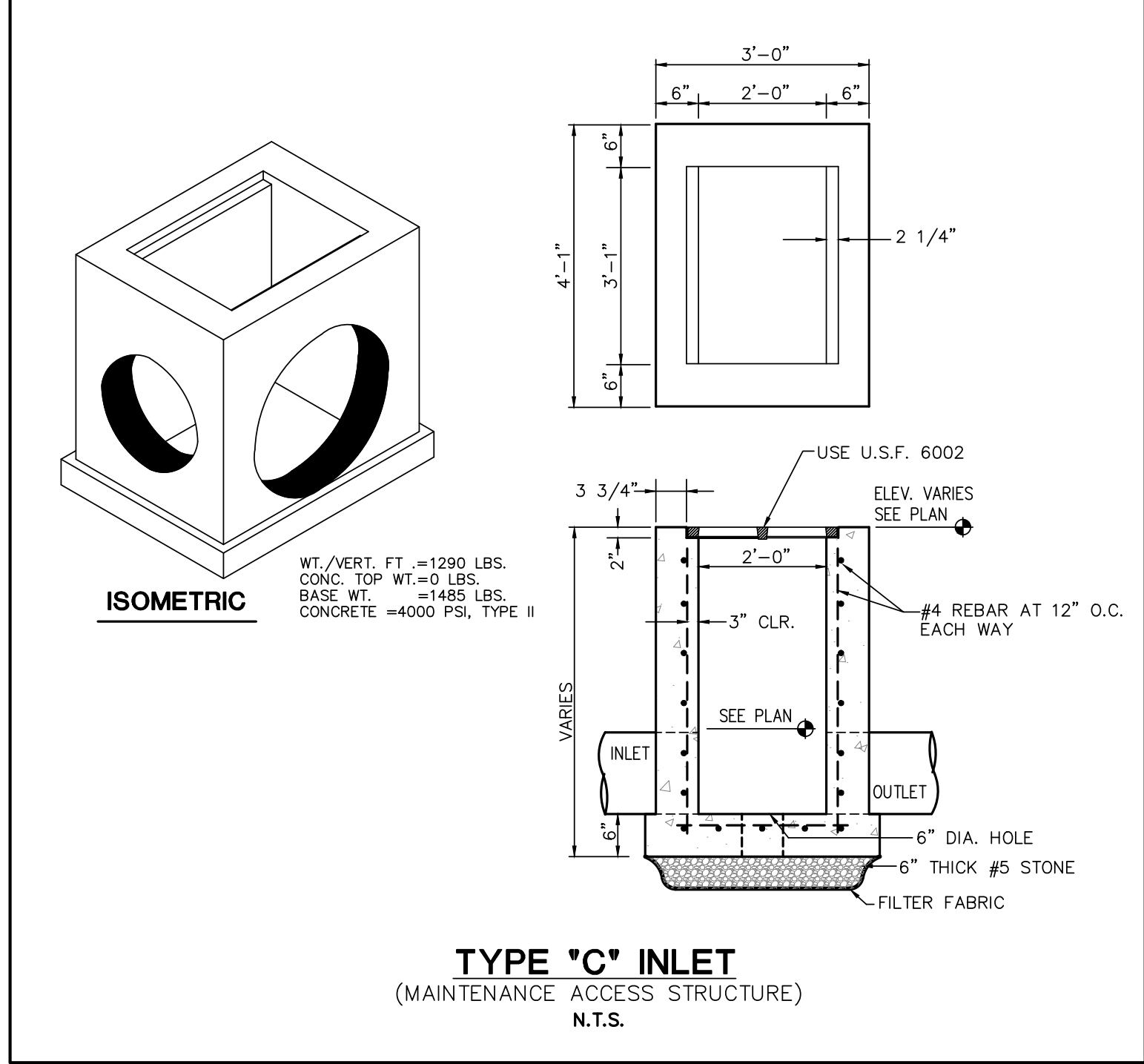
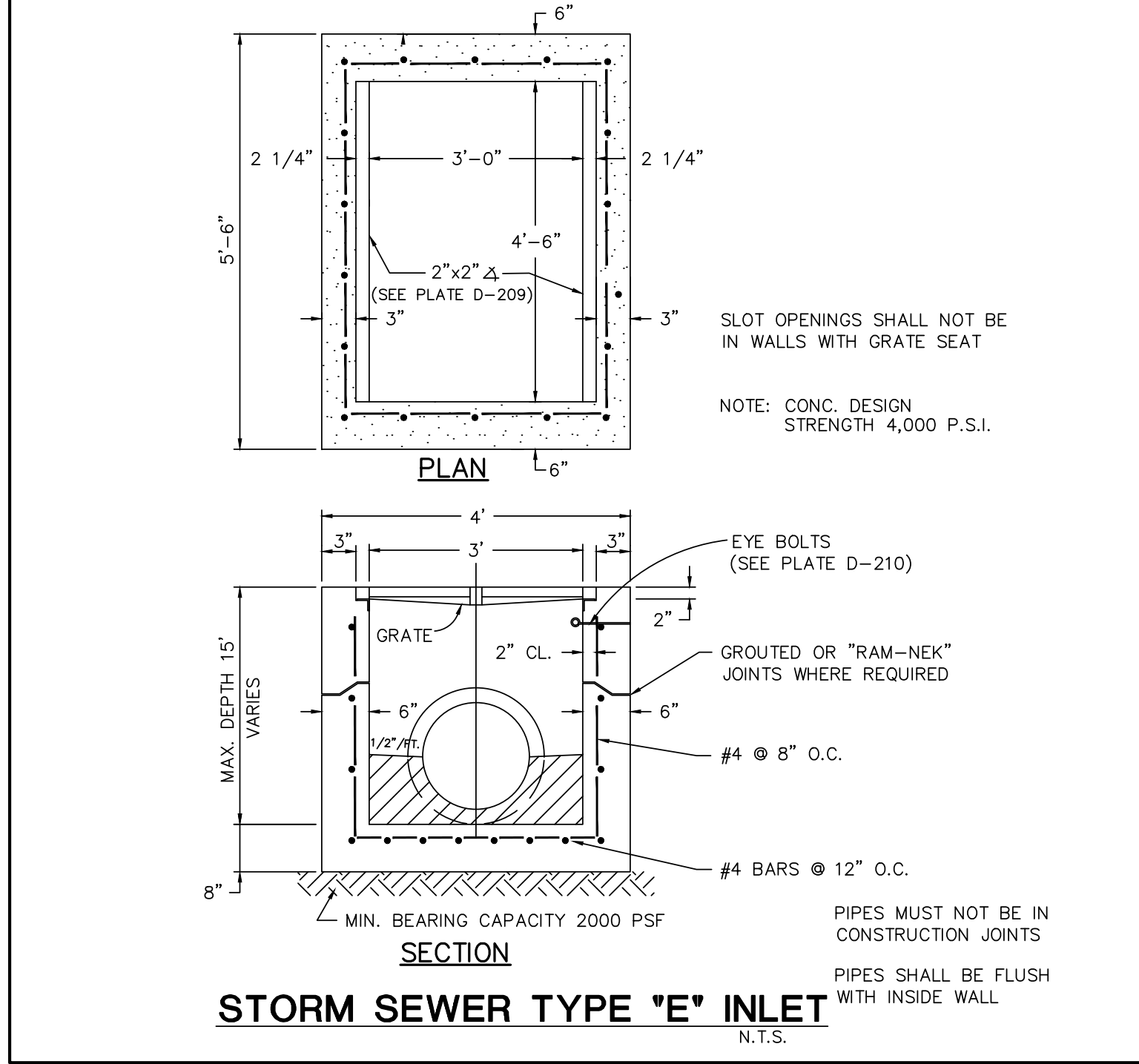
8



1st FLOOR PARKING LEVEL



2nd FLOOR PARKING LEVEL



AMERICAN ENGINEERING CONSULTANTS

CERTIFICATE OF AUTHORIZATION NUMBER: 264446

731 BALD EAGLE DR.

DRAWN BY: K. SCHMADTKE

SCALE: N.T.S.

OF MARCO ISLAND, INC.

MARCO ISLAND, FL (239) 394-1697

DESIGNED BY: M. PINCKNEY

DATE: SEPTEMBER 13, 2022

REV. NO.: 10985-001-01

APPROVED BY: MARTIN D. PINCKNEY

DATE: SEPTEMBER 13, 2022

REV. NO.: 10985-001-01

REV. AFTER CITY COMMENTS

REV. NO.: 10985-001-01

DATE: 10/23/23

PARKING AND STORMWATER SECTIONS

MARTIN D. PINCKNEY, P.E.

E RESIDENCES

717 & 731 S. COLLIER BOULEVARD

MARCO ISLAND, FLORIDA 34145

SHEET C-5 OF 8

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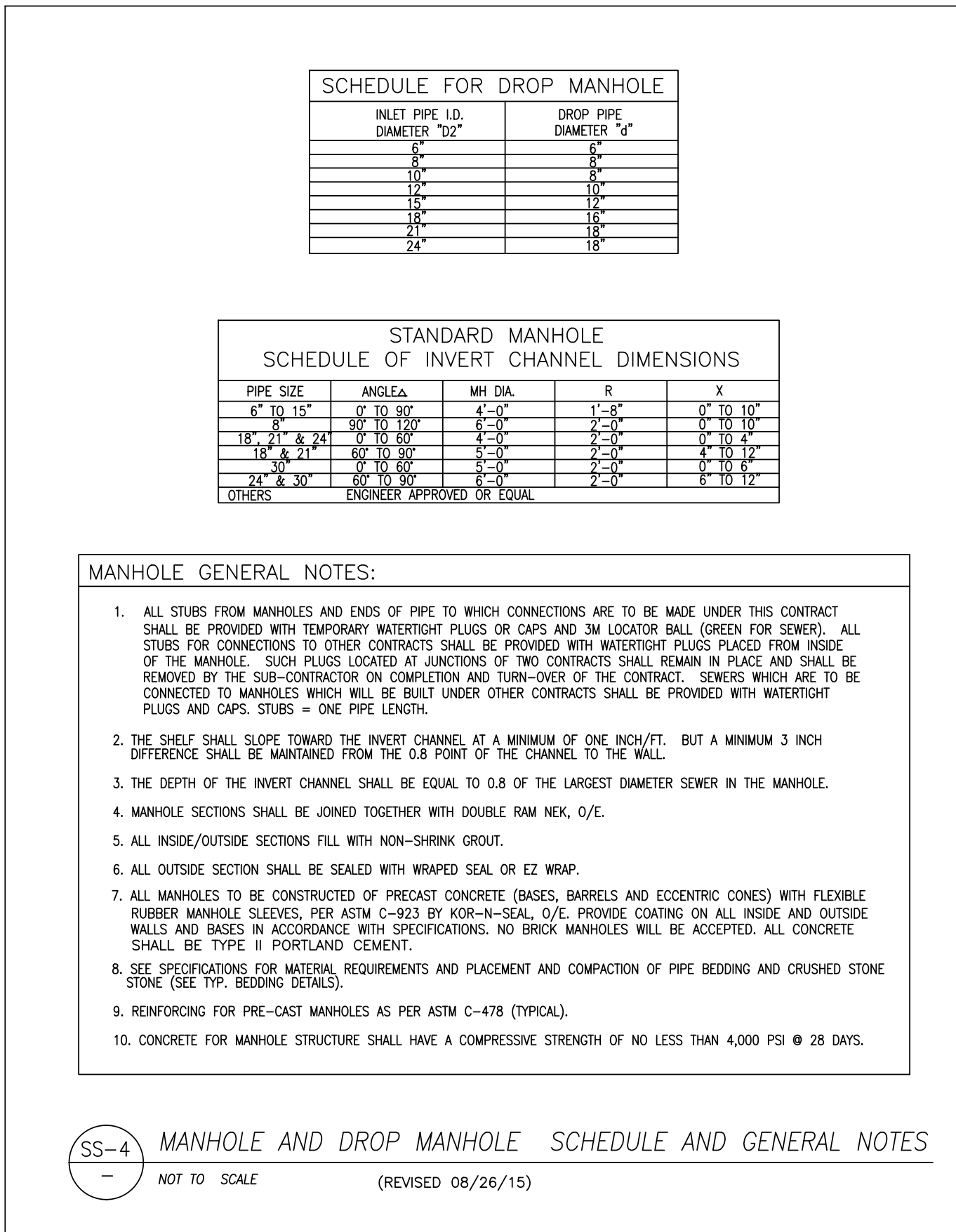
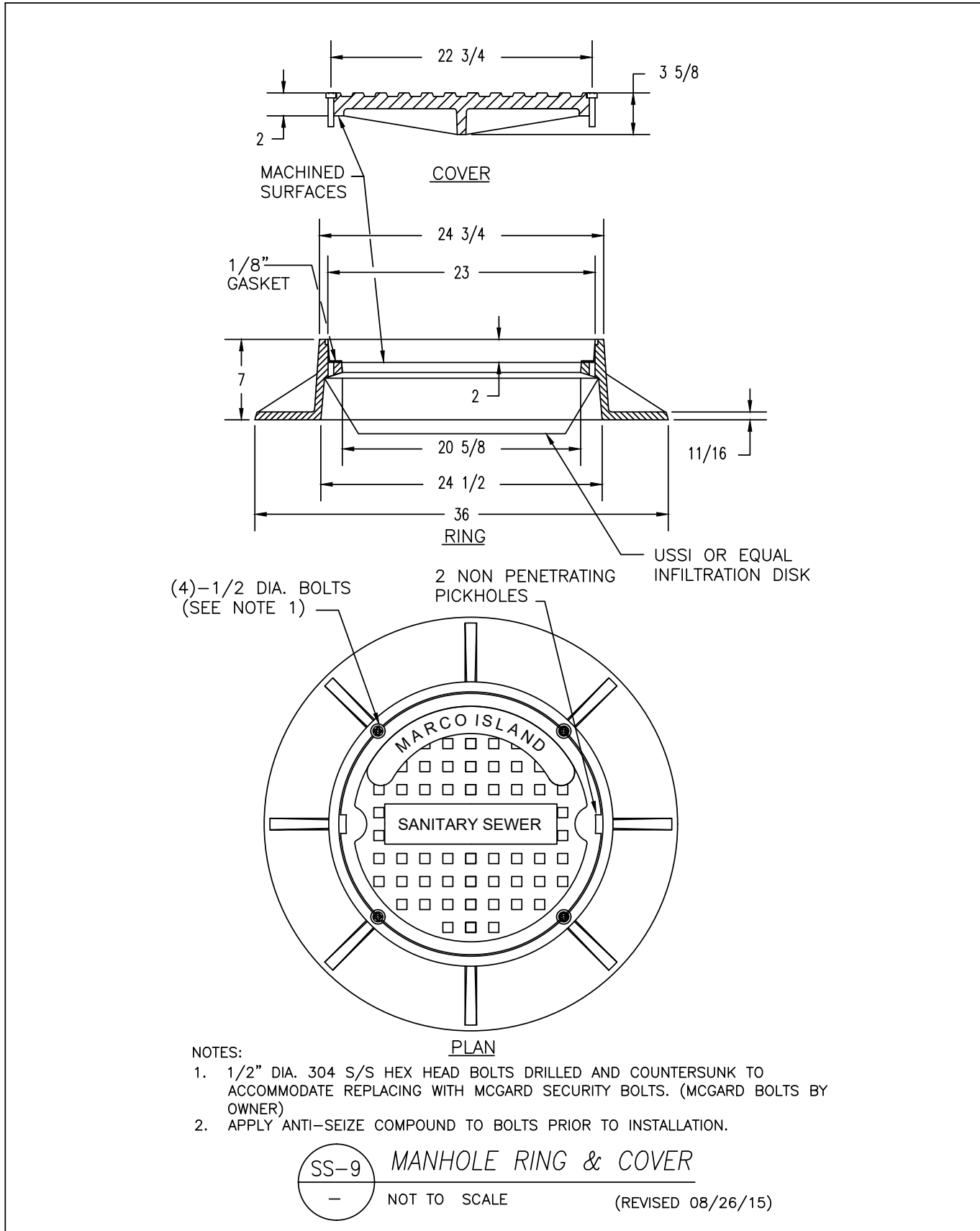
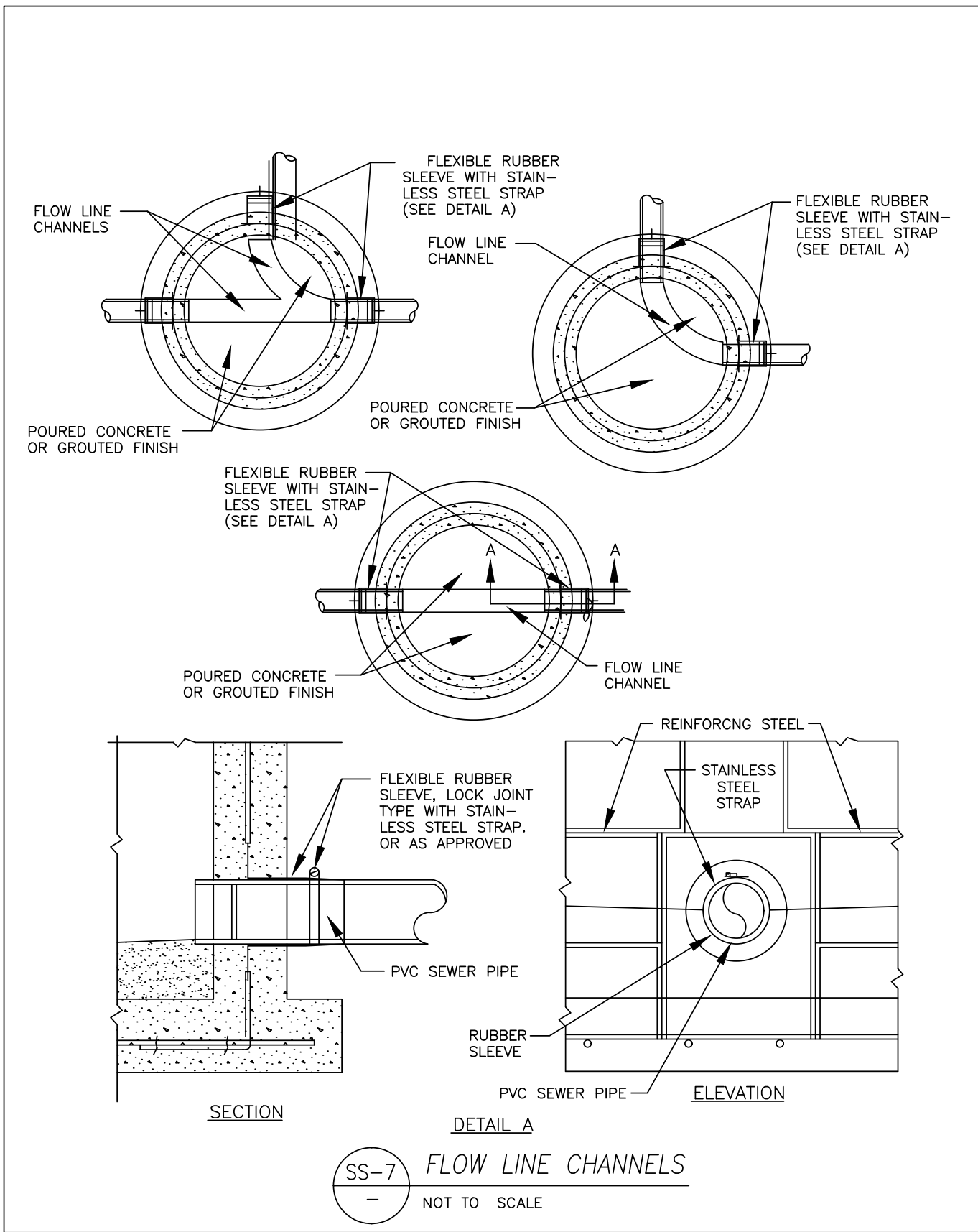
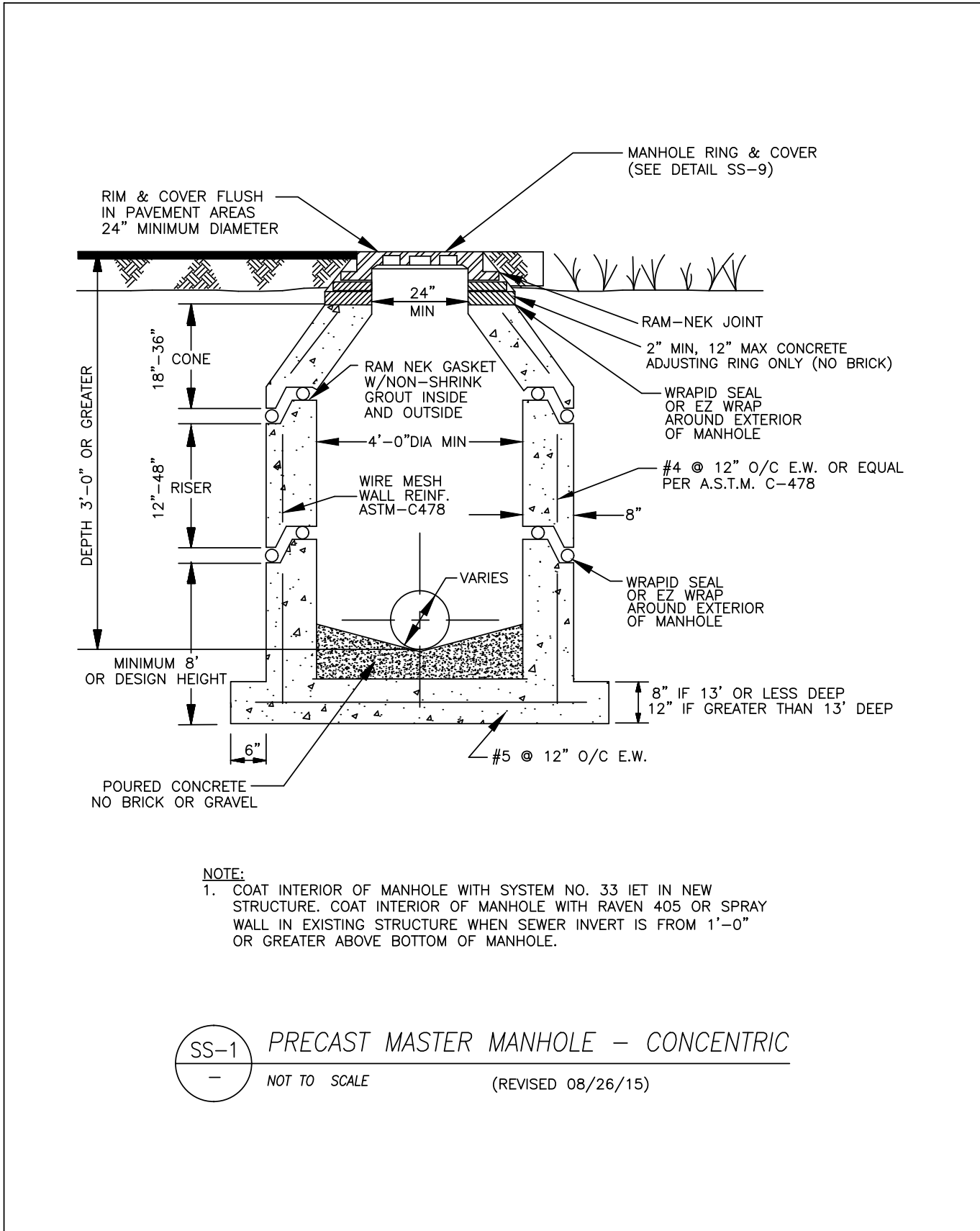








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STANDARD MANHOLE SCHEDULE OF INVERT CHANNEL DIMENSIONS				
PIPE SIZE	ANGLEΔ	MH DIA.	R	X
6" TO 15"	0" TO 8"	4'-0"	1'-5"	0" TO 10"
	9" TO 12"	6'-0"	2'-0"	0" TO 10"
18", 21" & 24"	0" TO 6"	4'-0"	2'-0"	0" TO 4"
	6" TO 9"	5'-0"	2'-0"	4" TO 12"
18" & 21"	6" TO 9"	5'-0"	2'-0"	0" TO 6"
	9" TO 12"	6'-0"	2'-0"	6" TO 12"
24" & 30"	6" TO 9"	5'-0"	2'-0"	0" TO 6"
	9" TO 12"	6'-0"	2'-0"	6" TO 12"
OTHERS	ENGINEER APPROVED OR EQUAL			