FOR A PROPOSED MIXED USE DEVELOPMENT E RESIDENCES - MARCO ISLAND

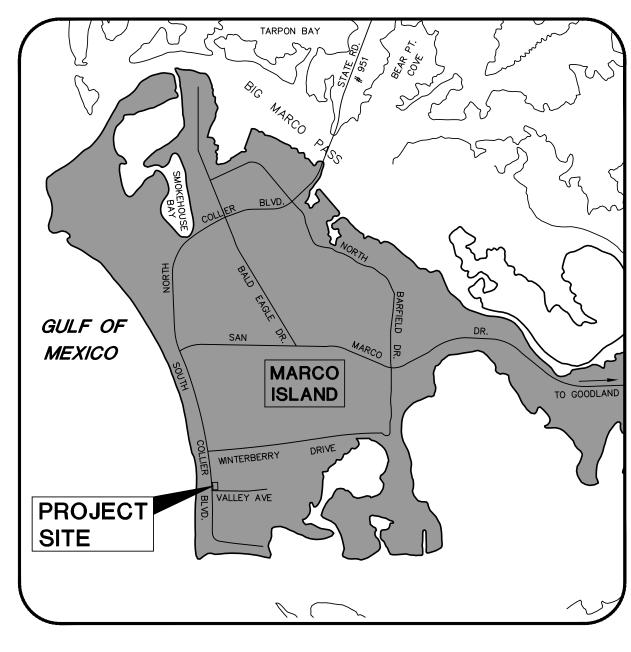
711 & 731 S. COLLIER BOULEVARD, MARCO ISLAND FL.

PARCEL # 57871720009 & 57871640008 SECTION 17, TOWNSHIP 52 RANGE 26

LEGAL: LOTS 1-3, BLOCK 348, UNIT 10
MARCO BEACH AS RECORDED
IN PLAT BOOK 6, PAGES 74
THROUGH 79 OF THE PUBLIC
RECORDS OF COLLIER COUNTY,
FLORIDA

DEVELOPER: MI DEVELOPERS LLC 428 PERSIAN COURT MARCO ISLAND, FL 34145 PHONE NUMBER: 973-960-7283

T: MARTIN D. PINCKNEY, P.E.
AMERICAN ENGINEERING CONSULTANTS
OF MARCO ISLAND, INC.
573 BALD EAGLE DRIVE
MARCO ISLAND, FL 34145
PHONE NUMBER: 239-394-1697



Vicinity Map

Reviewed for code compliance M Holden 02/22/2023 2:10:42 PM

Reviewed for code compliance
Joshua Ooyman
02/23/2023 8:44:28 AM

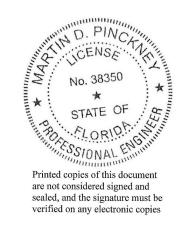
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AMERICAN ENGINEERING CONSULTANTS

OF MARCO ISLAND, INC.

CERTIFICATE OF AUTHORIZATION NUMBER 26446
573 BALD EAGLE DR. MARCO ISLAND, FL. (239) 394-1697

SEPTEMBER 2022



c=US, st=Florida, l=Naples, o=Martin Pinckney, cn=Martin D. Pinckney, email=martin@aec-mi.com
This item has been digitally signed and sealed on the date adjacent to the seal I agree to the terms defined by the placement of my signature on this document
2023.02.08 16:43:48 -05'00'

MARTIN D. PINCKNEY FLORIDA PE 38350

:\10750-11000\10992-E RESIDENCES-Old Turtle Prkg\10992-001-01-SDP~REV2.dwg, (0) Cover, 2/8/2023 2:5445 PM

MITTED ONLY WHEN WRITTEN APPROVAL HAS BEEN RECEIVED FROM THE

- AND CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. 2. ALL CONSTRUCTION AND INSTALLATION OF MATERIAL AND EQUIPMENT SHALL BE IN CONFORMANCE WITH THE PLANS AND SPECIFICATIONS PREPARED BY THE ENGINEER OF RECORD. SUBSTITUTIONS AND DEVIATIONS SHALL BE PER-
- ENGINEER OF RECORD. 3. SHOP DRAWINGS OF ALL MATERIALS BEING USED SHALL BE SUBMITTED TO THE ENGINEER OF RECORD PRIOR TO INSTALLATION.
- 4. CONSTRUCTION INSPECTION IS REQUIRED AND WILL BE PROVIDED BY THE ENGINEER OF RECORD AND/OR MARCO ISLAND PUBLIC WORKS DEPT. FOR UNDERGROUND CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER AT LEAST 48 HOURS BEFORE BEGINNING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER AT LEAST 48 HOURS BEFORE EACH REQUIRED INSPECTION OF ALL PHASES OF THE WORK.
- 5. CONTRACTOR MUST NOTIFY THE CITY OF MARCO ISLAND PUBLIC WORKS DEPARTMENT AND/OR MARCO ISLAND UTILITIES, AS APPLICABLE, 48 HOURS PRIOR TO CONNECTING INTO ANY EXISTING STRUCTURES OR PERFORMING ANY TESTS.
- 6. THE CONTRACTOR SHALL MAINTAIN A CURRENT SET OF CONSTRUCTION PLANS ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION.
- 7. THE LOCATION OF ALL EXISTING UTILITIES ON THE PLAN ARE APPROXIMATE AND HAVE BEEN SHOWN FROM PLANS OF RECORD WHERE AVAILABLE. THE CONTRACTOR SHALL LOCATE AND EXPOSE ALL EXISTING UTILITIES TO BE CONNECTED SUFFICIENTLY AHEAD OF CONSTRUCTION TO ALLOW REDESIGN BY THE ENGINEER, IF SUCH UTILITIES ARE FOUND TO BE DIFFERENT THAN SHOWN
- 8. THE CONTRACTOR SHALL NOTIFY LEE COUNTY ELECTRIC COOPERATIVE, INC., COMCAST, CENTURYLINK, MARCO ISLAND UTILITIES, SUMMIT BROADBAND, AND ANY OTHER UTILITY COMPANY WHICH MAY HAVE THEIR UTILITIES AND ANY OTHER AREAS 48 HOURS BEFORE BEGINNING CONSTRUCTION.

9.	UTILITY AGENCIES / OWNERS:		
	COMPANIES	TELEPHONE NUMBERS	CONTACT PERSON
	LEE COUNTY ELECTRIC COOPERATIVE INC.	1-239-656-2271	SHI SHARMA
	FLORIDA POWER & LIGHT COMPANY (DISTRIBUTION)	1-239-353-6046	ANDY WHITLEY
	CENTURYLINK `	1-239-263-6278	ROB FRANCWAY
	COMCAST CABLE COMMUNICATIONS, INC.	1-772-567-3473	MICHAEL BROOKS
	MARCO ISLAND UTILITIES	1-239-389-5187	BART BRADSHAW
	HERITAGE OPERATING, L.P./DBA BALGAS	1-904-280-1996 X-23	BILL TATE
		1-239-872-8965	MITCHELL NOBLES
	SUMMIT BROADBAND	1-239-404-8289	DEAN HUDDLESTUN
	MARCO ISLAND UTILITY (EMERGENCY)	1-239-394-3168	

- 10. COORDINATE UTILITY RELOCATIONS WITH AFFECTED UTILITY COMPANIES.
- 11. COORDINATE TREE REMOVAL WITH PROPERTY OWNERS.
- 12. COORDINATE STRUCTURE DEMOLITION AND TRAFFIC SIGN RELOCATION WITH CITY PUBLIC WORKS DEPARTMENT.
- 13. THE SEQUENCE OF CONSTRUCTION SHALL BE SUCH THAT ALL UNDERGROUND INSTALLATIONS OF EVERY KIND, (INCLUDING SPRINKLERS) SHALL BE PLACED BENEATH THE PAVEMENT AND ITS EDGES PRIOR TO THE CONSTRUCTION OF THE PAVEMENT. THE PAVEMENT SHALL NOT BE CUT WITHOUT PRIOR APPROVAL OF THE PUBLIC WORKS DIRECTOR.
- 14. ALL CONDUITS NECESSARY FOR ELECTRIC, CABLE TELEVISION, TELEPHONE, STREET LIGHTING, ETC., SHALL BE INSTALLED PRIOR TO PAVEMENT CONSTRUCTION.
- 15. ALL ELEVATIONS REFER TO NORTH AMERICAN VERTICAL DATUM OF 1988.
- 16. SIGNING AND STRIPING SHALL BE IN ACCORDANCE WITH U.S.D.O.T. F.H.W.A. MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES. ALL PAVEMENT MARKINGS WITHIN PUBLIC R.O.W. SHALL BE THERMOPLASTIC PER F.D.O.T. SPECIFICATIONS
- 17. CONTRACTOR SHALL PROTECT ALL PERMANENT REFERENCE MONUMENTS AND TAKE ALL PRECAUTIONS NECESSARY TO AVOID DISTURBING SURVEY MARKERS.
- 18. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF TRAFFIC IN ACCORDANCE WITH CITY AND STATE REQUIREMENTS. PROVIDE STEEL PLATES FOR TEMPORARY TRAFFIC COVERS OVER EXCAVATIONS.

19. ALL ASPHALT PAVEMENT CONSTRUCTION AND OVERLAY SHALL CONFORM TO

- F.D.O.T. CURRENT SPECIFICATIONS.
- A. BASE: MATERIALS FOR AGGREGATE BASE SHALL BE CRUSHED ROCK AND ROCK DUST (FDOT, SECTION 204).
- B. TACK COAT: TACK COAT MATERIAL TO COMPLY WITH FDOT, SECTION 300. C. ASPHALT CONCRETE: ASPHALT CONCRETE TO COMPLY WITH FDOT, SECTIONS 320, 330. CONSTRUCTION OF THE PAVEMENT SHALL COMPLY WITH FDOT,
- D. MILLING OF EXISTING ASPHALT CONCRETE TO COMPLY WITH FDOT, SECTION
- 20. CEMENT CONCRETE PAVEMENT SHALL COMPLY WITH FDOT SECTION 352.

- 21. DEMOLITION NOTES:
- A. THE CONTRACTOR SHALL PROTECT ALL UTILITIES AND OTHER IMPROVEMENTS SHOWN ON THESE PLANS AND ALL OTHER UTILITIES AND OTHER IMPROVE-MENTS NOT SHOWN. THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR REPAIRS OF UTILITIES AND OTHER IMPROVEMENTS DAMAGED DURING CONSTRUCTION AND SHALL MAINTAIN SUFFICIENT PROTECTION TO ALL UTILITIES REQUIRED TO PROTECT THEM FROM DAMAGE AND TO PROTECT THE PUBLIC DURING CONSTRUCTION.
- B. WATER SPRINKLING AND OTHER SUITABLE METHODS SHALL BE USED FOR DUST SUPPRESSION. WATER SHALL NOT BE USED WHEN IT CREATES HAZARDOUS OR OBJECTIONABLE CONDITIONS SUCH AS FLOODING, EROSION, SEDIMENTATION, OR POLLUTION.
- C. COMPLETELY REMOVE PAVEMENT, SIDEWALKS, CURBS, AND GUTTERS DESIGNATED TO BE REMOVED. REMOVE PAVEMENT, SIDEWALKS, CURBS, AND GUTTERS BY METHODS THAT WILL ASSURE CLEAN UNIFORM BREAKS AT PAVEMENT, SIDEWALKS, CURBS, AND GUTTERS NOT REMOVED ARE ALONG STRAIGHT LINES. LEAVE FACES OF REMAINING PAVEMENT, SIDEWALK, CURB, AND GUTTER SURFACES APPROXIMATELY VERTICAL.
- D. DEMOLITION AND REMOVAL OF DEBRIS SHALL BE CONDUCTED TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES WHICH SHALL NOT BE CLOSED OR OBSTRUCTED EXCEPT IN ACCORDANCE WITH THE WORK ZONE TRAFFIC CONTROL PLAN. OR WITH PERMISSION FROM THE CITY OF MARCO ISLAND. ALTERNATE ROUTES SHALL BE PROVIDED AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS. SITE DEBRIS, RUBBISH, AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS SHALL BE REMOVED AND DISPOSED OF IN COMPLIANCE WITH ALL LAWS AND REGULATIONS. BURNING OF REMOVED MATERIALS FROM DEMOLISHED STRUCTURES SHALL NOT BE PERMITTED.
- E. THE CONTRACTOR SHALL PROVIDE PATCHING, REPLACING, REPAIRING, AND REFINISHING OF DAMAGED AREAS INVOLVED IN DEMOLITION AS NECESSARY TO MATCH THE EXISTING ADJACENT SURFACES. THE CONTRACTOR SHALL REPAIR ALL DAMAGES CAUSED TO ADJACENT FACILITIES BY DEMOLITION AT NO ADDITIONAL COST TO THE CITY OF MARCO ISLAND. AFTER PATCHING AND REPAIRING HAS BEEN COMPLETED, THE CONTRACTOR SHALL CAREFULLY CLEAN ADJOINING WORK AND REPAIR ANY DAMAGE CAUSED BY SUCH
- F. DURING AND UPON COMPLETION OF WORK, THE CONTRACTOR SHALL PROMPTLY REMOVE UNUSED TOOLS AND EQUIPMENT, SURPLUS MATERIALS, RUBBISH, DEBRIS, AND DUST AND SHALL LEAVE AREAS AFFECTED BY WORK IN A CLEAN CONDITION. CLEAN ADJACENT STRUCTURES AND FACILITIES OF DUST, DIRT. AND DEBRIS CAUSED BY DEMOLITION AND RETURN ADJACENT AREAS TO CONDITION EXISTING PRIOR TO START OF WORK. THE CONTRACTOR SHALL CLEAN AND SWEEP THE AFFECTED PORTIONS OF ROADS, STREETS, SIDEWALKS AND PASSAGEWAYS DAILY.
- G. COORDINATE REMOVAL OF PRIVATE LANDSCAPING FEATURES ON R.O.W. WITH PROPERTY OWNER UNLESS OTHERWISE DIRECTED BY CITY OF MARCO ISLAND.
- H. COORDINATE UTILITY RELOCATIONS WITH AFFECTED UTILITY COMPANIES. COORDINATE STRUCTURE DEMOLITION AND TRAFFIC SIGN REMOVAL WITH CITY PUBLIC WORKS DEPARTMENT.
- J. SILT BARRIERS SHALL BE INSTALLED IN LOCATIONS AND FOR DURATION NECESSARY ACCORDING TO STAGING OF DEMOLITION AND/OR CONSTRUCTION. SILT BARRIERS SHALL BE MAINTAINED IN A FUNCTIONAL CONDITION FOR THE DURATION OF THEIR USE.
- 22. ALL PAVEMENTS, SIDEWALKS, CURBS, AND SIMILAR HARD SURFACES CUT OR REMOVED AS A CONSEQUENCE OF STORM DRAINAGE CONSTRUCTION SHALL BE RESTORED ACCORDING TO STANDARD DETAILS AND TO ORIGINAL LINES AND GRADES, EXCEPT WHERE REGRADING IS NECESSARY TO CORRECT LOCAL DRAINAGE, OR AS OTHERWISE NOTED.
- 23. CONCRETE SIDEWALK NOTES:
- A. USE CLASS I CONCRETE MEETING THE REQUIREMENTS OF FDOT SECTION 347 PORTLAND CEMENT CONCRETE-CLASS I
- B. SIDEWALK CONSTRUCTION REFER TO FDOT SECTION 522 AND CITY OF MARCO ISLAND PUBLIC WORKS STANDARDS.
- C. FOR ALL STEEL REINFORCEMENT REQUIRED BY THE PLANS, MEET REQUIREMENTS OF FDOT SECTION 415. WELDED WIRE MESH IS REQUIRED FOR ANY CONCRETE
- D. COMPACT FILL AREAS, INCLUDING CUT AREAS UNDER THE SIDEWALK THAT HAVE BEEN EXCAVATED MORE THAN 6" BELOW THE BOTTOM OF SIDEWALK TO A MINIMUM OF 95% OF AASHTO99 DENSITY. THE AREA TO BE COMPACTED IS DEFINED AS THAT AREA DIRECTLY UNDER THE SIDEWALK AND 1 FT. BEYOND EACH SIDE OF THE SIDEWALK WHEN R.O.W. ALLOWS.
- E. FOR EXPANSION AND CONTRACTION JOINT SPECIFICATIONS REFER TO FDOT SECTION 522-5 JOINTS.
- F. PLACE THE CONCRETE IN THE FORMS, AND TAMP AND SPADE CONCRETE TO PREVENT HONEYCOMBING AND UNTIL THE TOP OF THE STRUCTURE CAN BE FLOATED SMOOTH AND THE EDGES ROUNDED TO THE RADIUS SHOWN IN THE
- G. FOR FINISHING SPECIFICATIONS REFER TO FDOT SECTION 522-7 FINISHING.
- H. FOR CURING SPECIFICATIONS REFER TO FDOT SECTION 520-8 CURING.

24. GRADING AND LANDSCAPING NOTES:

- A. UNLESS OTHERWISE NOTED, FOR ALL VACANT RESIDENTIAL LOTS, MULTI-FAMILY, COMMERCIAL, AND INSTITUTIONAL PROPERTIES, THE BACK OF SIDEWALK ELEVATION SHALL BE SET 3" ABOVE THE ADJACENT ROADWAY CENTERLINE.
- B. MATCH EXISTING GRADE WHERE BUTTING UP TO STRUCTURES THAT ARE TO REMAIN. UNLESS OTHERWISE DIRECTED, MAINTAIN EXISTING SIDEWALK GRADE WHEN REPLACING SIDEWALK BETWEEN DRIVEWAYS IN CLOSE PROXIMITY TO
- C. REGRADE SWALES AND AREAS SURROUNDING INLETS AS INDICATED AND TO ENSURE UNIMPEDED WATER FLOW TO INLETS.
- D. ADHERE TO MINIMUM AND MAXIMUM SLOPES IN TABLE ON SHEET 11.
- E. DO LOCAL RE-GRADING AS NECESSARY TO BLEND IN WITH EXISTING GRADES ADJACENT TO SIDEWALK OR DRIVEWAY OR OTHER STRUCTURES. UNLESS OTHERWISE DIRECTED, DO NOT LEAVE FINAL GRADE ADJACENT TO SIDEWALK OR DRIVEWAY HIGHER THAN SIDEWALK OR DRIVEWAY
- F. ALL DISTURBED SOIL AREAS SHALL BE RE-SODDED WITH IN KIND IN ACCORDANCE WITH FDOT SECTION 575 UNLESS OTHERWISE NOTED OR DIRECTED.
- G. ANY SPRINKLER HEADS WITHIN PROPOSED SIDEWALK AREA SHALL BE RELOCATED TO EDGE OF SIDEWALK. NO DIRECT PAYMENT.

25. STORM SEWER NOTES:

- A. HIGH PERFORMANCE POLYPROPYLENE PIPE SHALL MEET THE FOLLOWING REQUIREMENTS -12 THROUGH 30-INCH (300 TO 750 MM) PIPE SHALL HAVE A SMOOTH INTERIOR AND ANNULAR EXTERIOR CORRUGATIONS AND MEET OR EXCEED ASTM F2736 AND AASHTOM330 -36 THROUGH 60-INCH (900 TO 1500 MM) PIPE SHALL HAVE A SMOOTH
 - INTERIOR AND ANNULAR EXTERIOR CORRUGATIONS AND MEET OR EXCEED ASTM F2881 AND AASHTOM330. - MANNING'S "N" VALVE FOR USE IN DESIGN SHALL BE 0.012.
- PIPE SHALL BE JOINED WITH A GASKETED INTEGRAL BELL & SPIGOT JOINT MEETING THE REQUIREMENTS OF ASTM F2736 OR F2881, FOR THE RESPECTIVE
- 12 THROUGH 60-INCH (300 TO 1500 MM) SHALL BE WATERTIGHT ACCORDING TO THE REQUIREMENTS OF ASTM D3212. SPIGOTS SHALL HAVE GASKETS MEETING THE REQUIREMENTS OF ASTM F477. GASKET SHALL BE INSTALLED BY THE PIPE MANUFACTURER AND COVERED WITH A REMOVABLE, PROTECTIVE WRAP TO ENSURE THE GASKET IS FREE FROM DEBRIS. A JOINT LUBRICANT AVAILABLE FROM THE MANUFACTURER SHALL BE USED ON THE GASKET AND BELL DURING ASSEMBLY.
- 12 THROUGH 60-INCH (300 TO 1500 MM) DIAMETERS SHALL HAVE A REINFORCED BELL WITH A POLYMER COMPOSITE BAND INSTALLED BY THE
- FITTINGS SHALL CONFORM TO ASTM F2736, ASTM F2881 AND AASHTO M330, FOR THE RESPECTIVE DIAMETERS. BELL & SPIGOT CONNECTIONS SHALL UTILIZE A SPUN-ON. WELDED OR INTEGRAL BELL AND SPIGOT WITH GASKETS MEETING ASTM F477. BELL & SPIGOT FITTINGS JOINT SHALL MEET THE WATER-TIGHT JOINT PERFORMANCE REQUIREMENTS OF ASTM D3212. CORRUGATED COUPLINGS SHALL BE SPLIT COLLAR, ENGAGING AT LEAST 2 FULL CORRUGATIONS.
- B. REINFORCED CONCRETE PIPE SHALL BE ASTM-C-76 CLASS III WITH O-RING
- C. REINFORCED CONCRETE ELLIPTICAL PIPE SHALL MEET THE REQUIREMENTS OF ASTM C 507 AND AASHTO M 207 WITH PRE-FORMED PLASTIC GASKETS.
- D. REINFORCED CONCRETE ARCH PIPE SHALL MEET THE REQUIREMENTS OF ASTM C 506 AND AASHTO M 207 WITH PRE-FORMED PLASTIC JOINTS.
- E. FLEXIBLE CORRUGATED POLYETHYLENE 4" TO 10" PIPE TO BE AASHTO M252 TYPE C WITH MANUFACTURER'S SAND-TIGHT JOINTS.
- F. FLEXIBLE CORRUGATED POLYETHYLENE PIPE 12" AND LARGER TO BE AASHTO M294 TYPE C WITH MANUFACTURER'S SAND-TIGHT JOINTS.
- G. SMOOTH INTERIOR CORRUGATED POLYETHYLENE PIPE 12" AND LARGER SHALL BE AASHTO M294 TYPE S WITH MANUFACTURER'S SAND-TIGHT JOINTS.
- H. PVC PIPE FOR STORM DRAIN WHERE SPECIFIED SHALL CONFORM TO AASHTO M278 FOR SMOOTH WALL PVC PIPE OR ASTM F949 FOR PVC RIBBED PIPE. RESIN SHALL CONTAIN A MINIMUM OF 1.5% BY WEIGHT OF TITANIUM DIOXIDE FOR UV PROTECTION. MITERED END SECTIONS ARE NOT TO BE CONSTRUCTED OF PVC. USE ONLY CONCRETE, METAL, OR SMOOTH INTERIOR POLYETHYLENE MITERED END SECTIONS.
- I. STORM SEWER PIPES SHALL BE FULLY GROUTED INTO ALL STRUCTURES WITH NON-SHRINK GROUT.
- J. SUBMIT SHOP DRAWINGS ON ALL STORM SEWER STRUCTURES.

26. CONFLICT NOTES:

- A. WATER MAINS CROSSING OVER SANITARY SEWER LINES, FORCE MAINS AND IRRIGATION MAINS SHALL BE SEPARATED BY A VERTICAL DISTANCE OF 18" MINIMUM. PARALLEL LINES SHALL BE SEPARATED BY A HORIZONTAL DISTANCE
- B. WHEN THE 18" VERTICAL STANDARD CAN NOT BE MAINTAINED OVER THE SEWER LINE, A MINIMUM VERTICAL SEPARATION OF 12" MAY BE PERMITTED USING A STEEL CASING PER MIU SPECS ENCASEMENT AND SIX (6) INCHES OF BEDDING STONE FOR A DISTANCE OF 10.0' EACH WAY FROM THE WATER LINE AND/OR
- C. ALL CROSSINGS WITH VERTICAL CLEARANCE LESS THAN 18" SHALL BE MADE USING CLASS 200 AWWA DUCTILE PIPE FOR LINES 12" AND SMALLER AND CLASS 51 DUCTILE IRON PIPE FOR LINES 14" AND LARGER FOR A DISTANCE OF 10.0' EACH SIDE OF THE CROSSING. ALL CROSSINGS WITH LESS THAN 18" CLEARANCE NEED PRIOR APPROVAL FROM MIU.
- D. GRADUAL DEFLECTION OF THE WATER LINE IN LIEU OF USING TRANSITIONAL FITTINGS WILL NOT BE PERMITTED.
- E. TRANSITIONAL FITTINGS WHEN USED SHALL BE LOCATED AS CLOSE TO POINT OF CONFLICT AS POSSIBLE.
- F. PIPE AND FITTINGS SHALL BE ADEQUATELY RESTRAINED USING RETAINER GLANDS, RODS, OR OTHER SUITABLE METHODS — PER MIU SPECS.
- G. 18" CLEARANCE SHALL NOT BE REDUCED WHERE WATER MAIN CROSSES UNDER
- H. VERTICAL CLEARANCE LESS THAN 12" SHALL NOT BE ALLOWED.
- I. WATER SERVICE CONDUITS AND IRRIGATION SERVICE CONDUITS SHALL BE SEPARATED BY A MINIMUM DISTANCE OF 10' HORIZONTALLY.
- J. FOR SANITARY LATERAL CONFLICTS, SEE CONFLICT RESOLUTION DETAILS. COMPLY WITH MINIMUM SLOPES PER MIU STANDARDS.
- 27. ALL WATER MAIN AND SERVICE CONSTRUCTION SHALL CONFORM TO "MARCO ISLAND UTILITIES TECHNICAL STANDARDS MANUAL", REV. JAN. 2007.
- 28. ALL SEWER MAIN AND SERVICE CONSTRUCTION SHALL CONFORM TO "MARCO ISLAND UTILITIES TECHNICAL STANDARDS MANUAL", REV. JAN. 2007.
- A. SITE DEWATERING WILL BE NECESSARY TO LOWER AND CONTROL GROUNDWATER

LEVELS AND HYDROSTATIC PRESSURES TO PERMIT EXCAVATION AND CONSTRUCTION

- TO BE PERFORMED PROPERLY UNDER DRY CONDITIONS. B. THE RESPONSIBILITY FOR CONDUCTING THE DEWATERING OPERATION IN A MANNER, WHICH WILL PROTECT ADJACENT STRUCTURES AND FACILITIES, RESTS SOLELY WITH THE CONTRACTOR. THE COST OF REPAIRING ANY DAMAGE TO ADJACENT STRUCTURES
- AND RESTORATION OF FACILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. C. DEWATERING MAY BE FACILITATED BY CONSTRUCTION OF A COFFERDAM AT CANAL DISCHARGE WHERE APPROPRIATE OR INFLATABLE PLUGS. SUCH DEVICES MUST BE DESIGNED AND OPERATED IN SUCH A WAY THAT THEY ARE REMOVED OR OTHERWISE WILL NOT
- RESTRICT FLOW OR CAUSE FLOODING SHOULD RAINFALL EVENTS OCCUR DURING CONSTRUCTION. D. THE CONTRACTOR SHALL BEAR THE SOLE RESPONSIBILITY FOR THE DESIGN, INSTALLATION, AND OPERATION OF THE DEWATERING SYSTEM TO COMPLY WITH THE INSTALL ADDITIONAL DEWATERING EQUIPMENT AS MAY BE REQUIRED THROUGH-
- E. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH ANY APPROVED DISCHARGE OF DEWATERING EFFLUENT.
- F. PRIOR TO COMMENCEMENT OF DEWATERING, THE CONTRACTOR SHALL DETERMINE WHETHER A SFWMD DEWATERING PERMIT IS REQUIRED, AND SHALL APPLY FOR AND OBTAIN ANY SUCH REQUIRED PERMIT, PROVIDING ANY DETAILED PLANS AND SCHEDULES AS MAY BE REQUIRED BY SFWMD.

OUT THE DURATION OF THE PROJECT TO MAINTAIN REQUIRED GROUNDWATER LEVELS.

- G. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH OBTAINING ALL PROPER PERMITS AND FOR MAINTAINING PERMIT COMPLIANCE, INCLUDING ALL COSTS ASSOCIATED WITH PERMIT VIOLATIONS.
- H. COPIES OF THE EXECUTED DEWATERING PERMIT APPROVED BY SFWMD, IF REQUIRED, SHALL BE SUBMITTED TO THE OWNER AND ENGINEER
- I. ALL WATER ENCOUNTERED IN THE TRENCH SHALL BE DISPOSED BY THE CONTRACTOR IN SUCH A MANNER AS WILL NOT DAMAGE PUBLIC OR PRIVATE PROPERTY OR CREATE A NUISANCE OR HEALTH NUISANCE.

30. TEMPORARY COFFERDAM NOTES: IF USED:

- SUBMIT DRAWINGS SHOWING THE PROPOSED METHOD OF COFFERDAM CONSTRUCTION AND OTHER DETAILS LEFT TO CHOICE OR NOT FULLY SHOWN ON THE PLANS. OBTAIN THE ENGINEER'S APPROVAL OF THE TYPE OF COFFERDAMS, INSOFAR AS SUCH DETAILS AFFECT THE CHARACTER OF THE FINISHED WORK. FOR OTHER DETAILS OF DESIGN THAT DO NOT AFFECT THE CHARACTER OF THE FINISHED WORK, ASSUME RESPONSIBILITY FOR THE SUCCESSFUL CONSTRUCTION OF THE WORK. RETAIN A PROFESSIONAL ENGINEER, REGISTERED IN THE STATE OF FLORIDA, TO PREPARE THE ABOVE CONSTRUCTION DRAWING, AND KEEP A SIGNED AND SEALED COPY ON HAND AT THE SITE AT ALL TIMES.
- 31. THE CONTRACTOR IS RESPONSIBLE FOR REPLACEMENT OF LANDSCAPING AND ANY REQUIRED IRRIGATION SYSTEM DAMAGED DURING CONSTRUCTION.
- 32. CONTRACTOR SHALL USE BEST MANAGEMENT PRACTICES FOR CONTROL OF EROSION AND SEDIMENTATION INCLUDING INSTALLING SILT FENCES AROUND THE PERIMETER AND HAY BALES FILTERS AT DISCHARGE POINTS, AND TURBIDITY SCREENS IN THE WATERWAY.
- 33. WHEN AN "OPEN CUT" IS MADE IN A STREET OR ROADWAY, CONTRACTOR SHALL BED AND BACKFILL TO FDOT SPECIFICATIONS AND RESTORE PAVING, REGRADE AND SOD SHOULDERS AND INSTALL TRAFFIC MARKINGS AND TRAFFIC SIGNS TO FDOT SPECIFICATIONS. NO OPEN CUT CONSTRUCTION ON PUBLIC STREETS, R.O.W., OR EASEMENTS SHALL BE INITIATED WITHOUT EXPRESS APPROVAL OF THE CITY OF MARCO ISLAND.
- 34. NO CONSTRUCTION ACTIVITIES, NOR EQUIPMENT, NOR MATERIALS SHALL BE PLACED OR STORED UPON PUBLIC RIGHT OF WAY OR PRIVATE PROPERTY WITHOUT EXPRESS PERMISSION OF THE CITY OR PROPERTY OWNER.
- 35. ABANDONMENT OF EXISTING STORM SEWERS:
- A. WHERE INDICATED, EXISTING STORM SEWERS TO BE ABANDONED IN PLACE SHALL BE COMPLETELY FILLED WITH FLOWABLE FILL. FLOWABLE FILL FOR PIPES.
- B. PRIOR TO BEGINNING CONSTRUCTION THE CONTRACTOR SHALL SUBMIT FOR REVIEW A PLAN FOR FILLING PIPES TO BE ABANDONED. PLAN SHALL INDICATED PROPOSED METHODS, LOCATIONS FOR FLOWABLE FILL INSERTION, AND SPECIFICATIONS FOR FLOWABLE FILL.
- C. REFERENCE STANDARD FOR FLOWABLE FILL IS ACI-229R.

SHEET INDEX

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	·

LEGEND

BM = BENCHMARK O = BOLLARD

= MITERED END SECTION = CATCH BASIN

E = ELECTRIC MISCELLANEOUS

IGE = IN-GROUND ELECTRIC BOX ESB = ELECTRIC SERVICE BOX

= RED FLAG/PAINT MARK FOO = IN-GROUND FIBER OPTIC BOX

= ORANGE FLAG/PAINT MARK □ = TELEPHONE RISER

[■ TELEVISION RISER (FO) = FIBER OPTIC CABLE POST

© = CABLE TELEVISION RISER = WOOD UTILITY POLE

 \longrightarrow = GUY ANCHOR

(S) = SANITARY SEWER MANHOLE = GREEN FLAG/PAINT MARK \triangle = SEWER CLEANOUT

₩ = WATER VALVE = BLUE FLAG/PAINT MARK ₩ = WATER METER

[B.F.A.] = BACK FLOW ASSEMBLY - = SIGNFLAG/PAINT MARK

= YELLOW FLAG/PAINT MARK (GAS) = SPOT ELEVATION (HARD SURFACE) $x^{0.7}$ = SPOT ELEVATION (SOFT SURFACE)

S.R. = STATE ROADR/W = RIGHT-OF-WAYO.R. = OFFICIAL RECORD BOOK P.B. = PLAT BOOK (D) = DEED(P) = PLAT(M) = MEASUREDRCP = REINFORCED CONCRETE PIPE

CMP = CORRUGATED METAL PIPE

HDPE = HIGH DENSITY POLYETHYLENE PIPE DIP = DUCTILE IRON PIPE

C.R. = COUNTY ROAD

SW/FM = SEWER FORCE MAIN WM = WATERMAINCONC = CONCRETE

ASPH = ASPHALTINV = INVERTELEV = ELEVATION-OHW- = OVERHEAD WIRES

-TOE- = TOE OF SLOPE-TOB- = TOP OF BANK= CONCRETE

= ASPHALT = BUILDING

> हैं है = MISC TREE **S** = PALM TREE

NOTE: TREE SIZES INDICATED ARE TRUNK DIAMETERS MEASURED AT CHEST HEIGHT. SYMBOL SIZE DOES NOT REFLECT ACTUAL CANOPY.

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BEEN OBSERVED OR CONFIRMED.

AND UNWRITTEN). THIS SURVEYOR HAS NOT PERFORMED NOR BEEN PROVIDED WITH A TITLE SEARCH FOR THESE PROJECT AREAS.

BENCHMARKS "872 4967 E" USING THE PUBLISHED ELEVATION OF 4.81 FEET.

5. LIMITATIONS PERTAINING TO INFORMATION PRESENTED ON THIS SURVEY INCLUDE: A. UNDERGROUND UTILITIES HAVE NOT BEEN INVESTIGATED, LOCATED OR CONFIRMED, EXCEPT AS SHOWN HEREON. B. PIPES DESIGNATED AS "RCP" (REINFORCED CONCRETE PIPE) ARE ASSUMED TO BE REINFORCED BUT THE REINFORCING ELEMENT HAS NOT

MARCO BEACH UNIT TEN SUBDIVISION PLAT RECORDED AT PLAT BOOK 6, PAGE 74, PUBLIC RECORDS OF COLLIER COUNTY, FLORIDA.

SURVEYOR'S REPORT — SURVEY PROVIDED BY E.F. GAINES SURVEYING SERVICES, INC.

OF 1983 (NAD 83) UTILIZING RTK GPS EQUIPMENT OPERATING ON THE TRIMBLE VRS NETWORK, U.S. SURVEY FEET

4. THE FOLLOWING SOURCE OF INFORMATION AND DATA WAS USED IN THE PREPARATION OF THIS SURVEY:

ENVIRONMENTAL ASSESSMENTS OR AUDITS, IF ANY, HAVE NOT BEEN REFLECTED ON THIS SURVEY. THE LINES SHOWN ON THE SURVEY MAP REPRESENTING RIGHT-OF-WAY LINES, PROPERTY LINES AND EASEMENT LINES ARE BASED ON THE ITEMS LISTED IN REPORT ITEM 4 AND FOUND MONUMENTATION. THESE LINES ARE APPROXIMATE IN THAT EACH INDIVIDUAL LINE HAS NOT BEEN SURVEYED ON THE GROUND. THIS IS NOT A RIGHT-OF-WAY SURVEY OR A BOUNDARY SURVEY.

E. LANDS SHOWN HEREON ARE SUBJECT TO EASEMENTS. RESTRICTIONS, RESERVATIONS AND RIGHTS-OF-WAY (RECORDED, UNRECORDED, WRITTEN

2. HORIZONTAL CONTROL FOR THIS PROJECT IS BASED ON THE STATE PLANE COORDINATE SYSTEM, FLORIDA EAST ZONE, NORTH AMERICAN DATUM

3. ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) AND WERE DERIVED FROM NATIONAL GEODETIC SURVEY

6. DATE OF FIELD WORK: SEPTEMBER 3, 2021

1. DISTANCES ARE IN FEET AND DECIMALS THEREOF.



LEGEND

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ASPHALT/CONCRETE TO BE REMOVED

SILT BARRIER STRAW BALES

<u>NOTES</u>

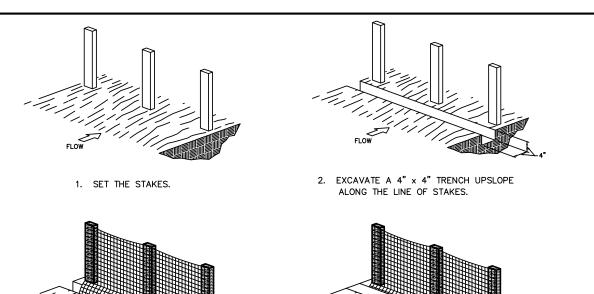
1. SAWCUT AND REMOVE ASPHALT UP TO EDGE OF COLLIER SOULEVARD AND ALLEYWAY. 2. COORDINATE CONSTRUCTION STAGING AND FENCING WITH

3. COORDINATE STRUCTURE DEMOLITION AND TRAFFIC SIGN REMOVAL WITH OWNER.

4. LOCATION OF SILT BARRIER IS APPROXIMATE ONLY. CONTRACTOR SHALL LOCATE SILT BARRIER IN ANY LOCATION NECESSARY TO PREVENT SOIL FROM LEAVING SITE OR ENTERING STORM DRAINS.

5. SILT BARRIERS SHALL BE INSTALLED ONLY IN LOCATIONS AND FOR DURATION'S NECESSARY ACCORDING TO STAGING OF DEMOLITION AND/OR CONSTRUCTION.

6. SILT BARRIERS SHALL BE MAINTAINED IN A FUNCTIONAL CONDITION FOR THE DURATION OF THEIR USE.

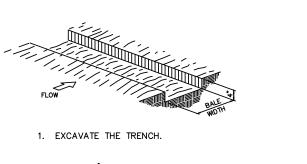


3. STAPLE FILTER MATERIAL TO STAKES

AND EXTEND IT INTO THE TRENCH.

4. BACKFILL AND COMPACT THE EXCAVATED

CONSTRUCTION OF A FILTER BARRIER

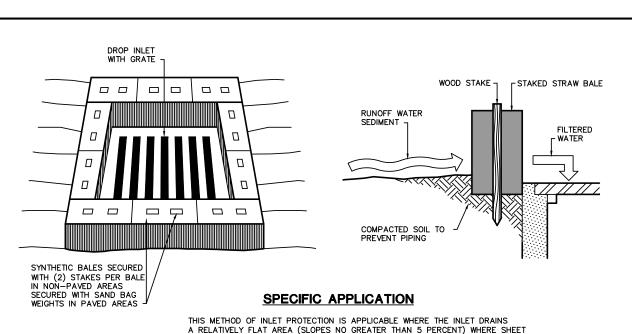


2. PLACE AND STAKE STRAW BALES.

4. BACKFILL AND COMPACT THE EXCAVATED

3. WEDGE LOOSE STRAW BETWEEN BALES.

CONSTRUCTION OF SYNTHETIC STRAW BALE BARRIER



THIS METHOD OF INLET PROTECTION IS APPLICABLE WHERE THE INLET DRAINS A RELATIVELY FLAT AREA (SLOPES NO GREATER THAN 5 PERCENT) WHERE SHEET OR OVERLAND FLOWS (NOT EXCEEDING 0.5 CFS) ARE TYPICAL. THE METHOD SHALL NOT APPLY TO INLETS RECEIVING CONCENTRATED FLOWS, SUCH AS IN STREETS OR HIGHWAY MEDIANS.

NOTES:

1. FILTER BARRIERS SHALL BE INSTALLED IN LOCATIONS AND FOR DURATION NECESSARY ACCORDING TO STAGING OF DEMOLITION AND/OR CONSTRUCTION. FILTER BARRIERS SHALL BE MAINTAINED IN A FUNCTIONAL CONDITION FOR THE DURATION OF THEIR USE. WATER SPRINKLING AND OTHER SUITABLE METHODS SHALL BE USED FOR DUST SUPPRESSION. WATER SHALL NOT BE USED WHEN IT CREATES HAZARDOUS OR OBJECTIONABLE CONDITIONS SUCH AS FLOODING, EROSION, SEDIMENTATION, OR POLLUTION.

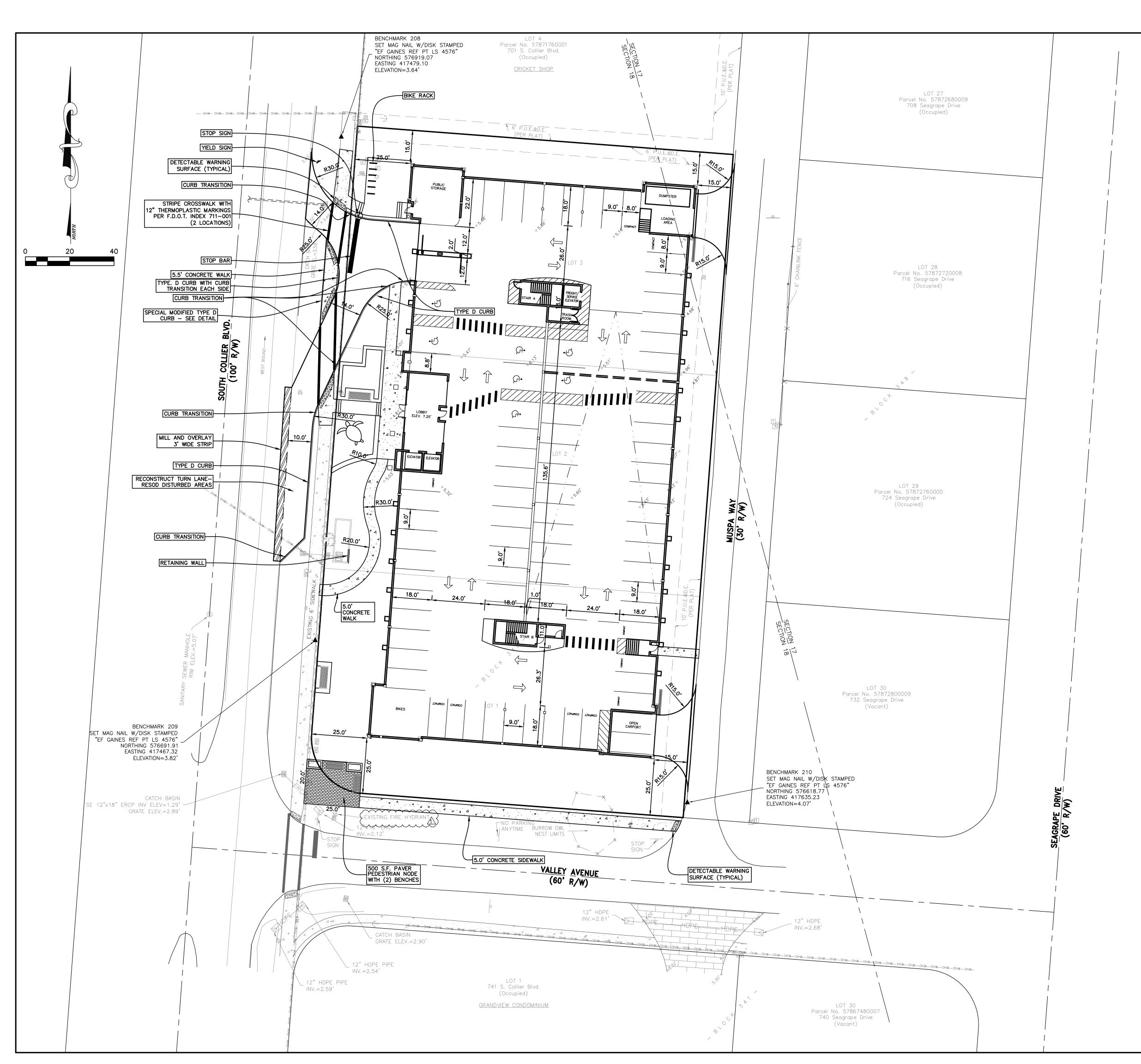
3. FOR PERMANENT EROSION CONTROL ALL DISTURBED SOIL AREAS SHALL BE RE-SODDED WITH BAHIA OR ST. AUGUSTINE TO MATCH EXISTING. 4. CITY PERSONNEL TO INSTALL OIL AND DEBRIS COLLECTING SKIMMERS IN EACH INLET FOR PERMANENT POLLUTION PREVENTION METHOD. **C-2**

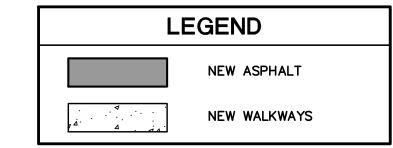
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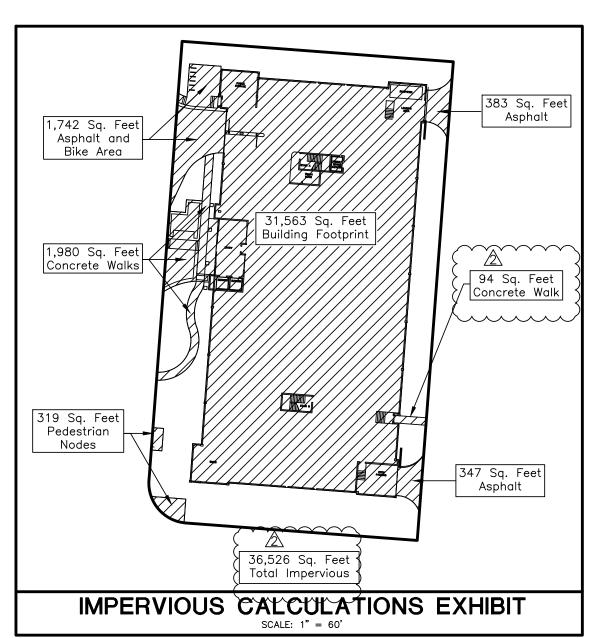


BUILDING SETBACK MATRIX		
DESCRIPTION/USE	REQUIRED	PROVIDED
FRONT (COLLIER BLVD.)	25'	25'
FRONT (VALLEY AVE.)	25'	25'
REAR (MUSPA WAY)	15'	15'
SIDE	15'	15'

LANDSCAPE BUFFER MATRIX		
DESCRIPTION/USE	REQUIRED	PROVIDED
R.O.W. BUFFER (COLLIER BLVD.)	15'	15'
R.O.W. BUFFER (VALLEY AVE.)	10'	10'
ALLEY BUFFER (MUSPA WAY)	10'	10'

PARKING SUMMARY			
DESCRIPTION/USE	PARKING RATIO	NUMBER UNITS	SPACES REQUIRED
RESTAURANT - SIT DOWN	1 SPACE/4 SEATS	324	81
APARTMENTS	2 PER UNIT	14	28
TOTAL REQUIRED	(BEFORE CREDITS)		109
HANDICAP REQUIRED	7 SPACE/250-300		7
BICYCLE RACK AND PEDESTRIAN ACCESS NODE			(-)3 SPACES
TOTAL REQUIRED	(AFTER CREDITS)		106
TOTAL PROVIDED	}	218 REGULAR S 26 COMPACT S 7 HANDICAP SF 251 SPACES — 141 PAY TO PA	PACES A SINCLUDES

SITE SUMMARY			
DESCRIPTION	AREA	% OF AREA	
TOTAL IMPERVIOUS	36,526 SF	72% 🛕 }	
TOTAL PERVIOUS	14,340 SF	28% 🛕	
TOTAL SITE AREA	50,866 SF	100%	
USE ZONE C-3			



NOTES

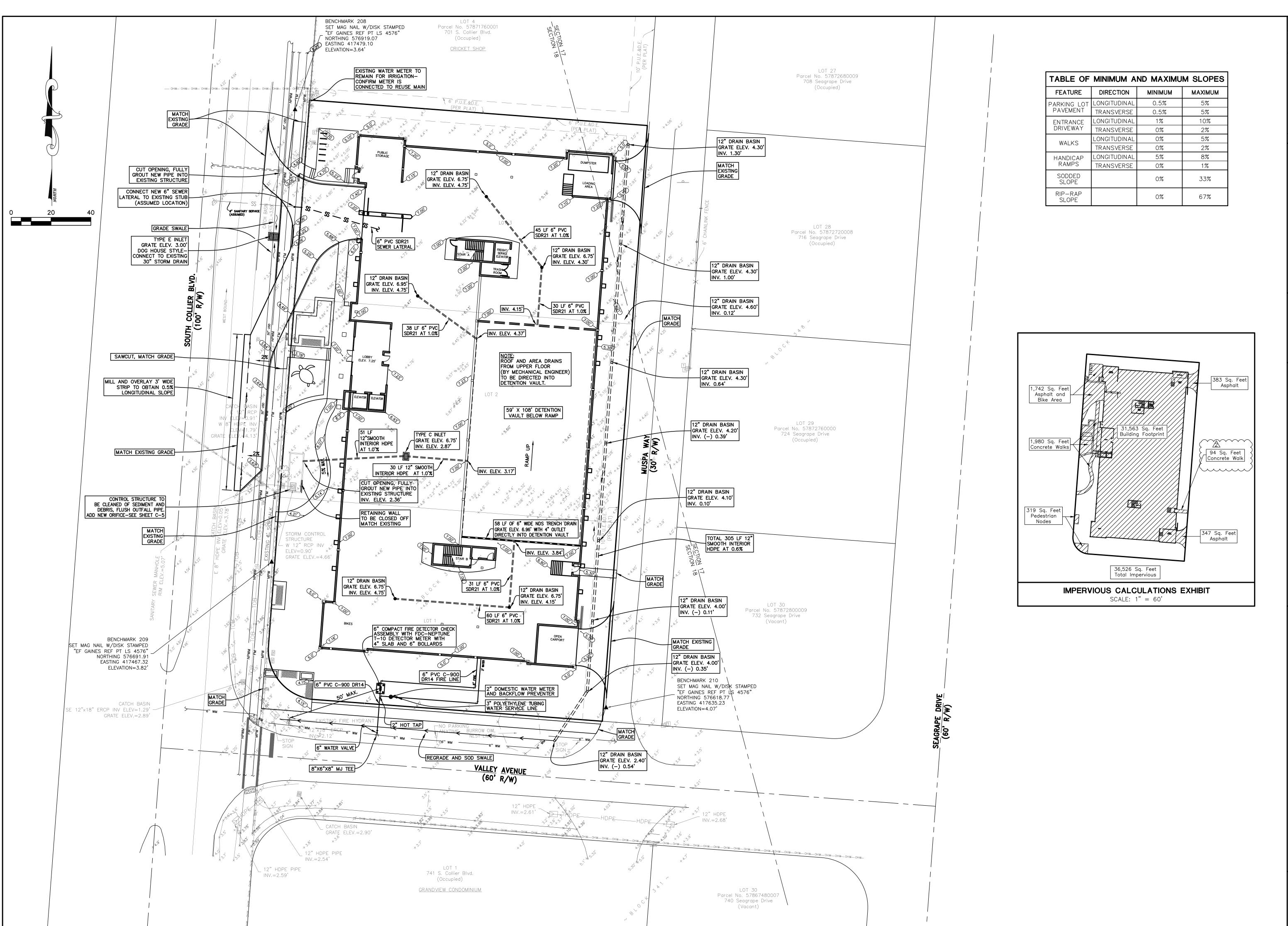
- 1. ALL CROSSWALKS, STOP BARS, AND DIRECTIONAL ARROWS SHOWN BOLD TO BE RE-APPLIED AFTER ALL PAVEMENT WORK IS COMPLETE AND CURED.
- 2. PARKING SPACE STRIPING DIMENSIONS AND COLORS PER STANDARD DETAILS AND FDOT STANDARDS.
- 3. USE THERMOPLASTIC MEETING FDOT REQUIREMENTS FOR ALL PAVEMENT MARKINGS.
- 4. SIGNS MISSING OR DISTURBED DURING CONSTRUCTION TO BE REPLACED.
- 5. DIMENSIONS SHOWN ARE TO FACE OF CURB, EXTERIOR BUILDING WALL, AND NOMINAL PARKING SPACE SIZE UNLESS OTHERWISE NOTED. 6. SIGNING AND STRIPING SHALL BE IN ACCORDANCE WITH U.S.D.O.T. F.H.W.A. MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES. ALL PAVEMENT MARKINGS WITHIN PUBLIC R.O.W. SHALL BE THERMOPLASTIC PER F.D.O.T. SPECIFICATIONS.

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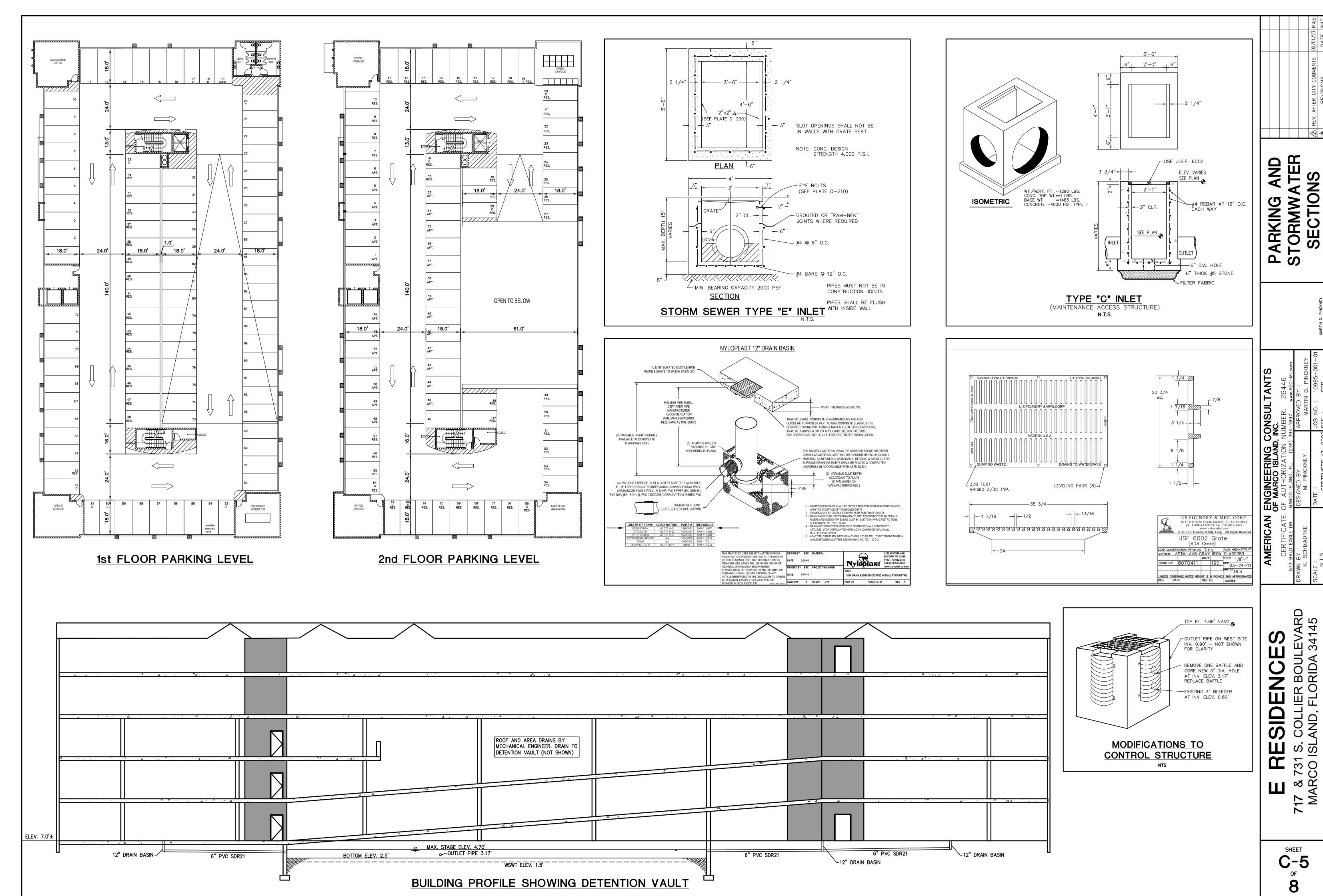
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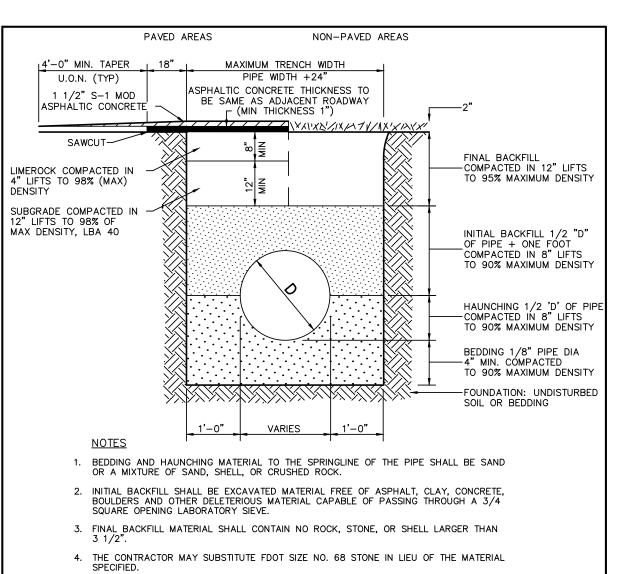
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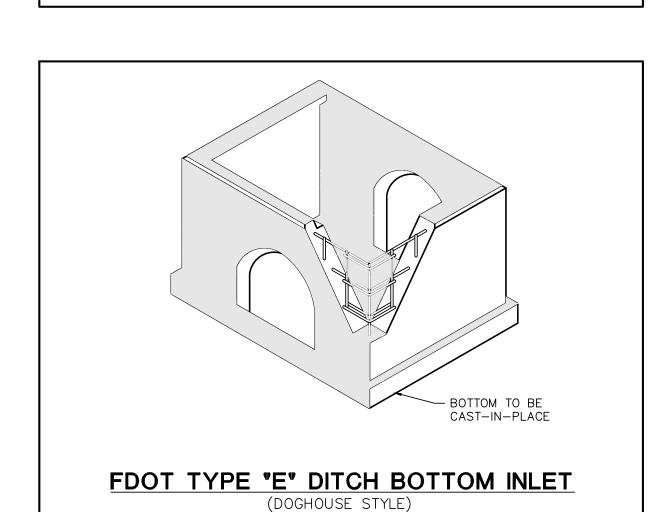
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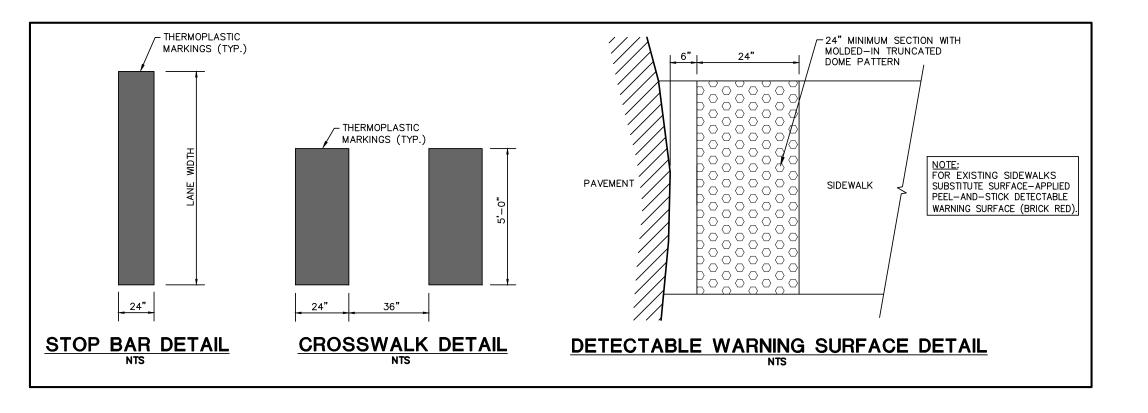
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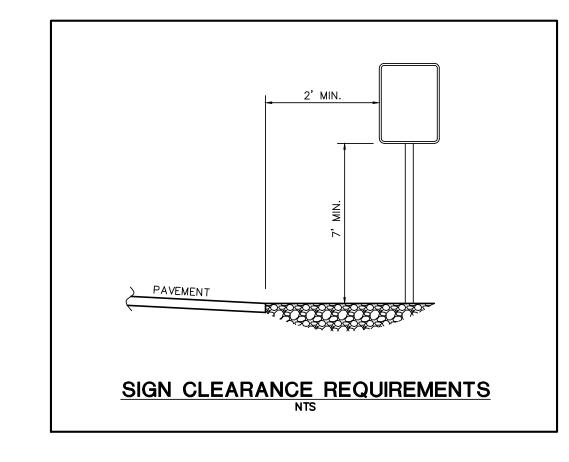


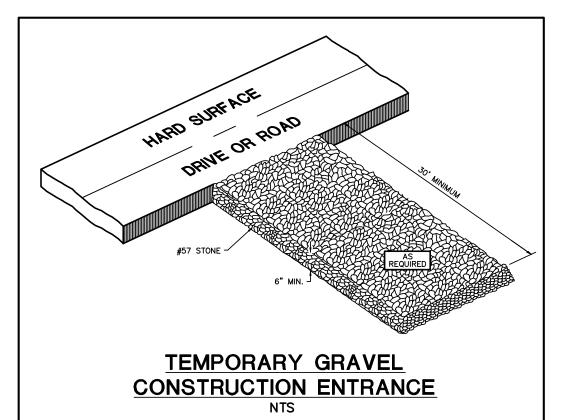
- 5. A DRY TRENCH SHALL BE MAINTAINED. 6. 36" MINIMUM COVER OVER SANITARY SEWER.
- 7. 30" MINIMUM COVER OVER POTABLE WATER, IRRIGATION AND FORCE MAIN.
- 8. IF THE MAXIMUM RECOMMENDED TRENCH WIDTH MUST BE EXCEEDED OR IF THE PIPE IS INSTALLED IN A COMPACTED EMBANKMENT, THEN PIPE EMBEDMENT SHOULD BE COMPACTED TO A POINT OF AT LEAST 2 1/2" PIPE DIAMETER FROM THE PIPE ON BOTH SIDES OF THE PIPE OR TO THE TRENCH WALLS, WHICHEVER IS LESS.
- 9. UNSUITABLE SOIL CONDITIONS: SOIL UNSUITABLE FOR PROPER PIPE FOUNDATION ENCOUNTERED AT OR BELOW TRENCH GRADE SUCH AS MUCK, MARL, OR OTHER DELETERIOUS MATERIALS SHALL BE REMOVED FOR THE FULL WIDTH OF THE TRENCH AND TO THE DEPTH REQUIRED TO REACH SUITABLE FOUNDATION MATERIAL. BACKFILL THE EXCAVATED AREA WITH SUITABLE MATERIAL WHICH SHALL BE COMPACTED AND SHAPEN TO CONFORM TO THE REQUIRED SECTION. AND SHAPED TO CONFORM TO THE REQUIRED SECTION.
- 10. ALL PROCTOR AND DENSITY TESTS SHALL BE TAKEN BY A CERTIFIED LABORATORY. ALL TESTS SHALL BE COMPLETED AND SHALL MEET DENSITY REQUIREMENTS PRIOR TO ADDITIONAL FILLING. DENSITY BASED ON MODIFIED PROCTOR (ASTM D1557).

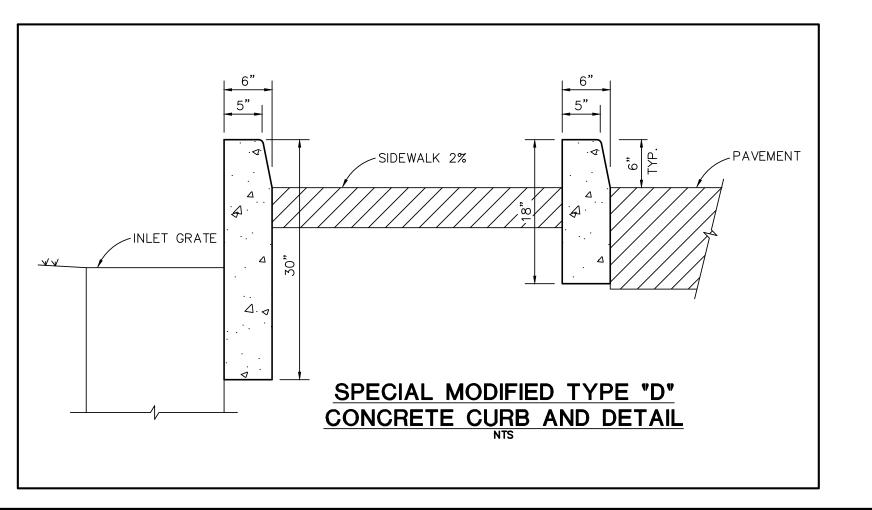
PIPE AND BEDDING DETAIL

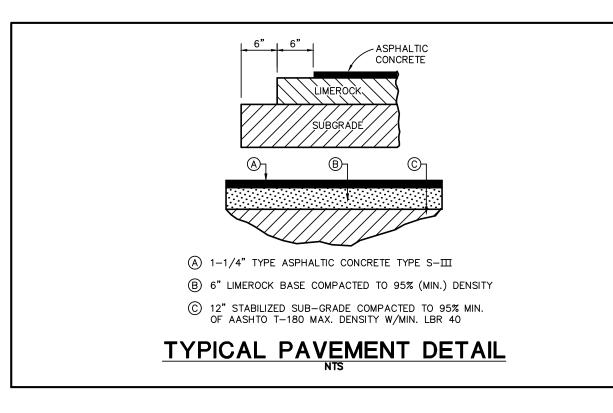


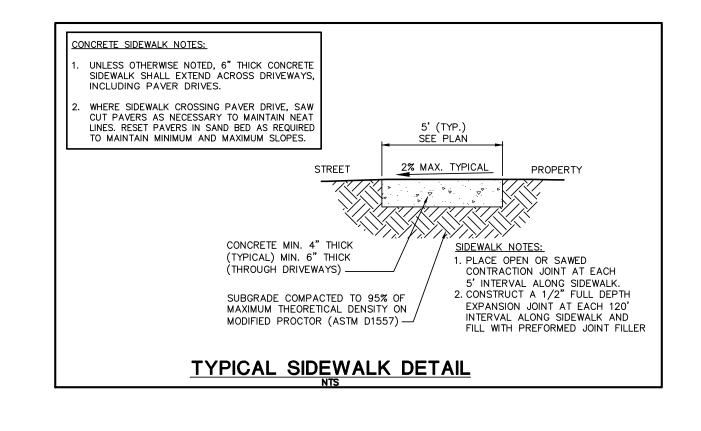


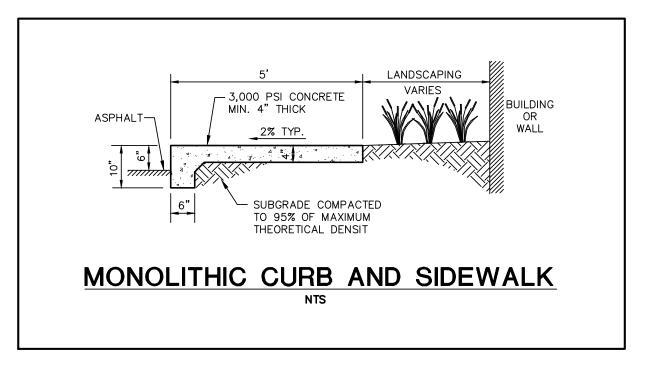


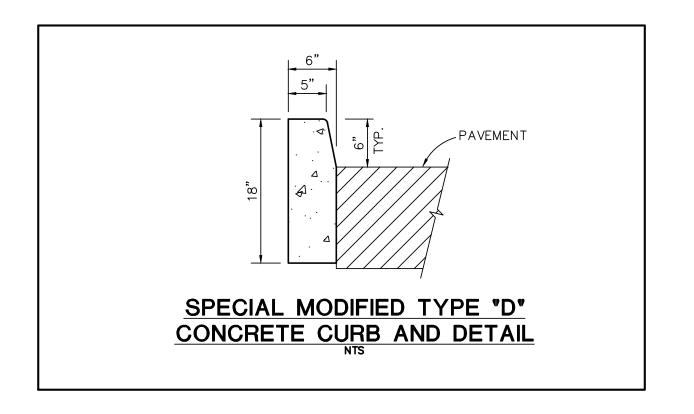


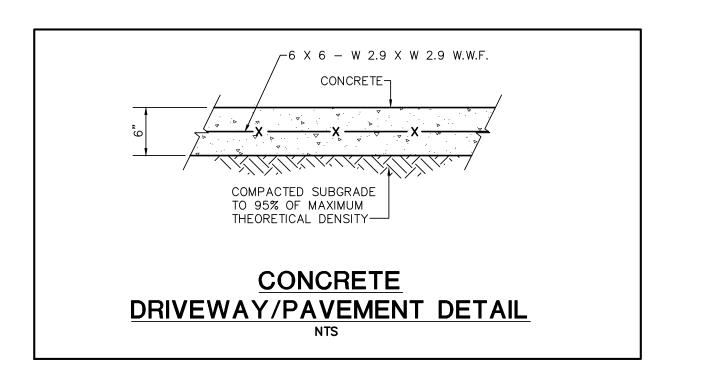






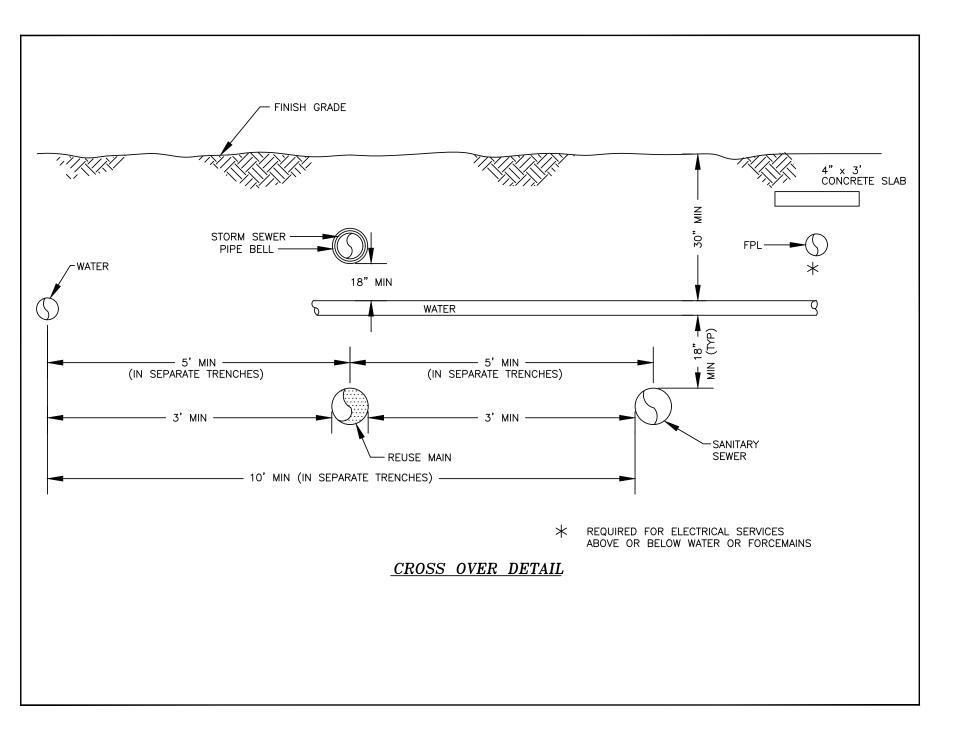


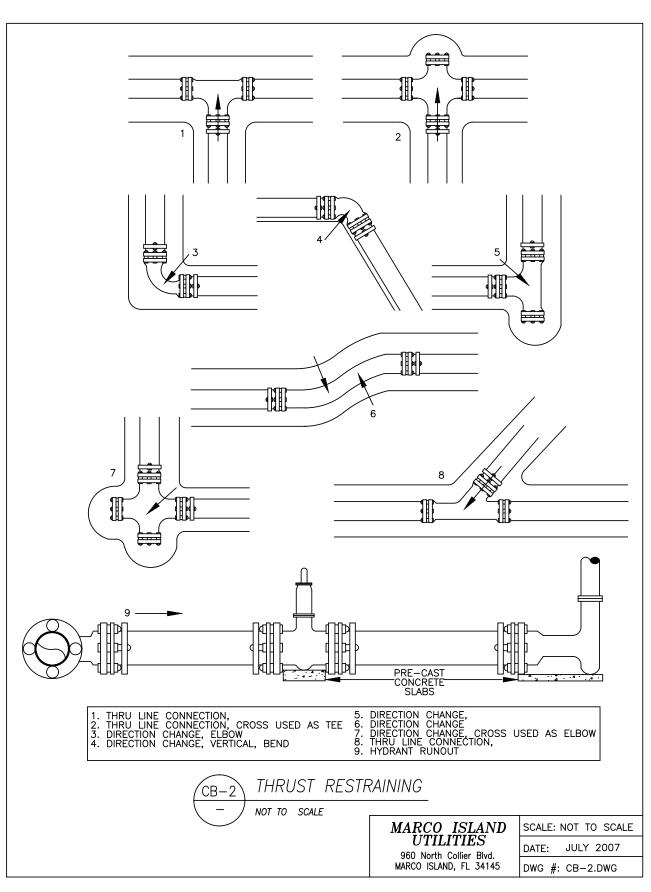


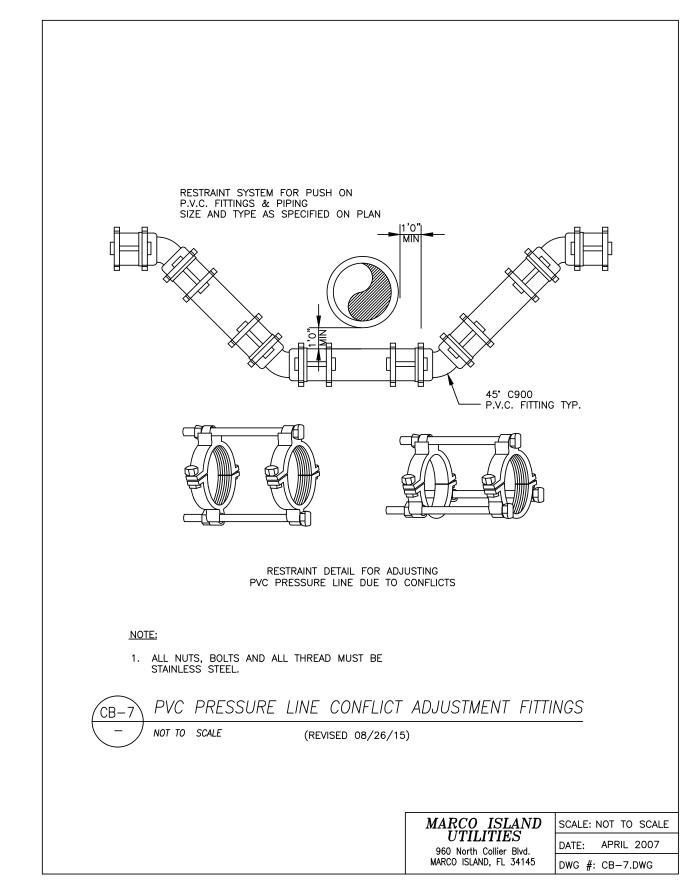


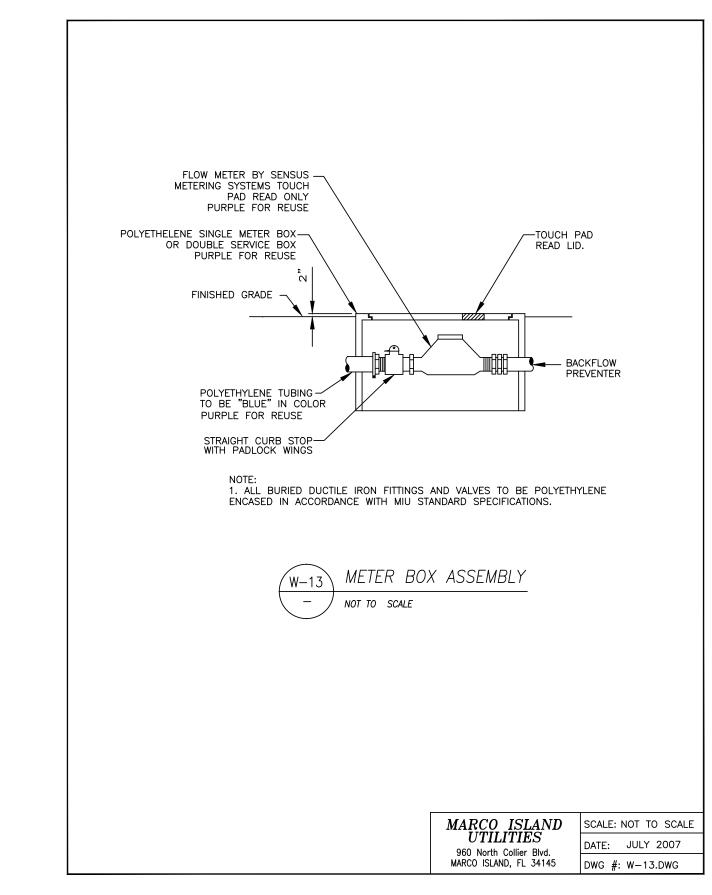
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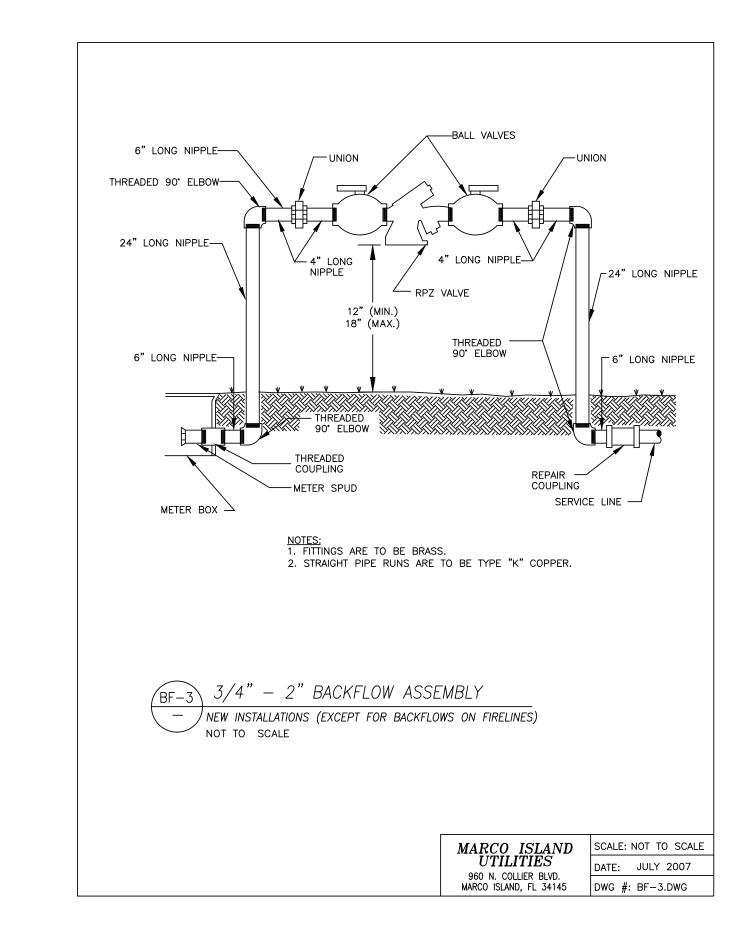
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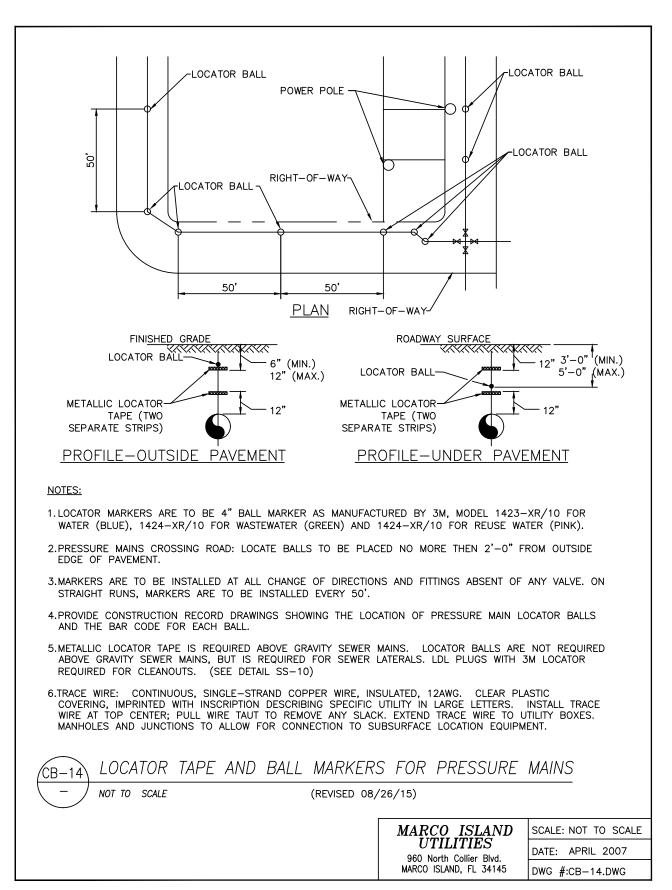


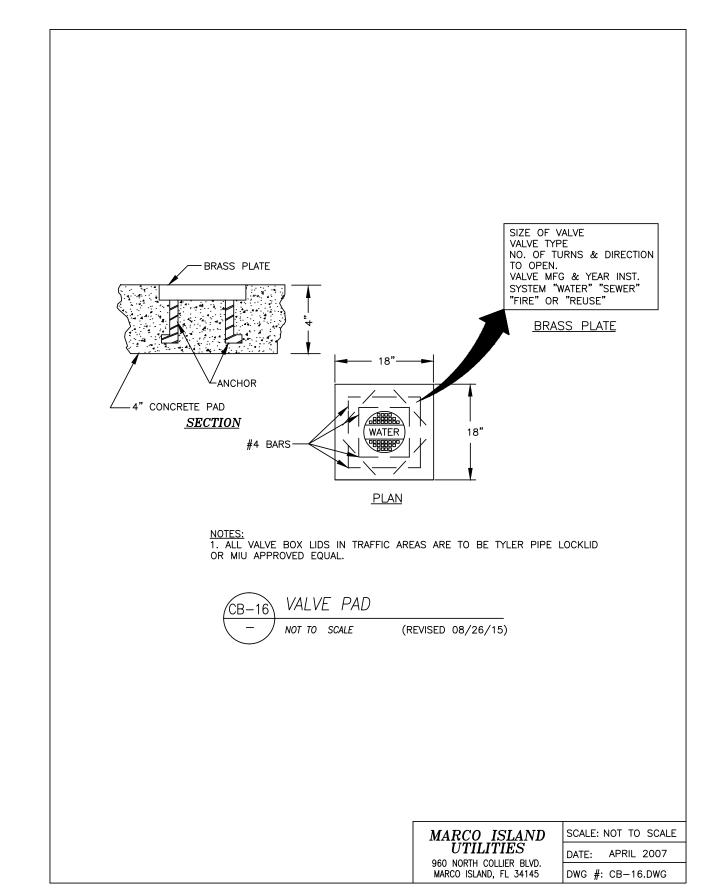


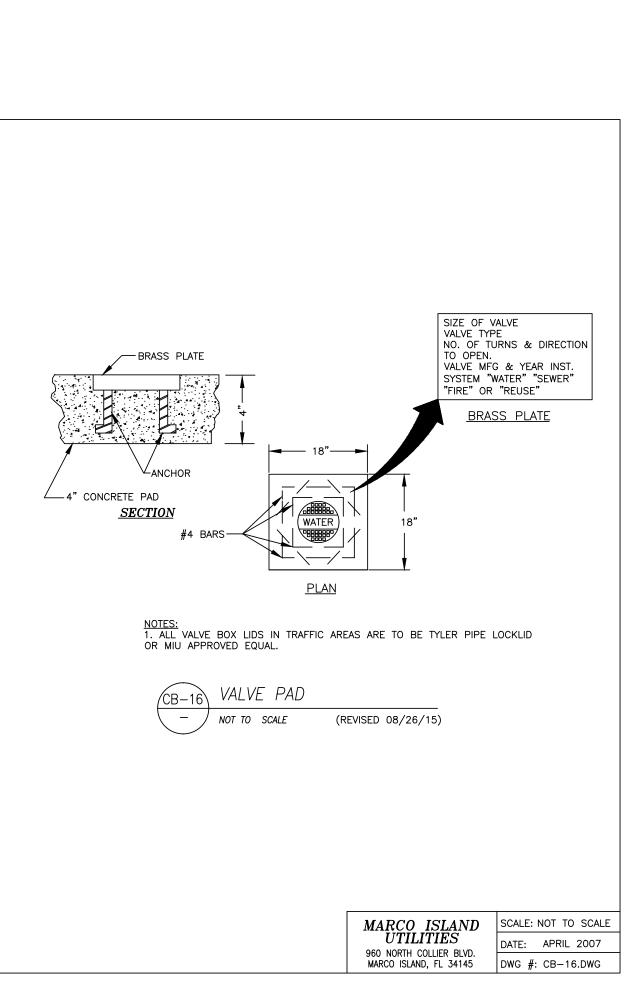












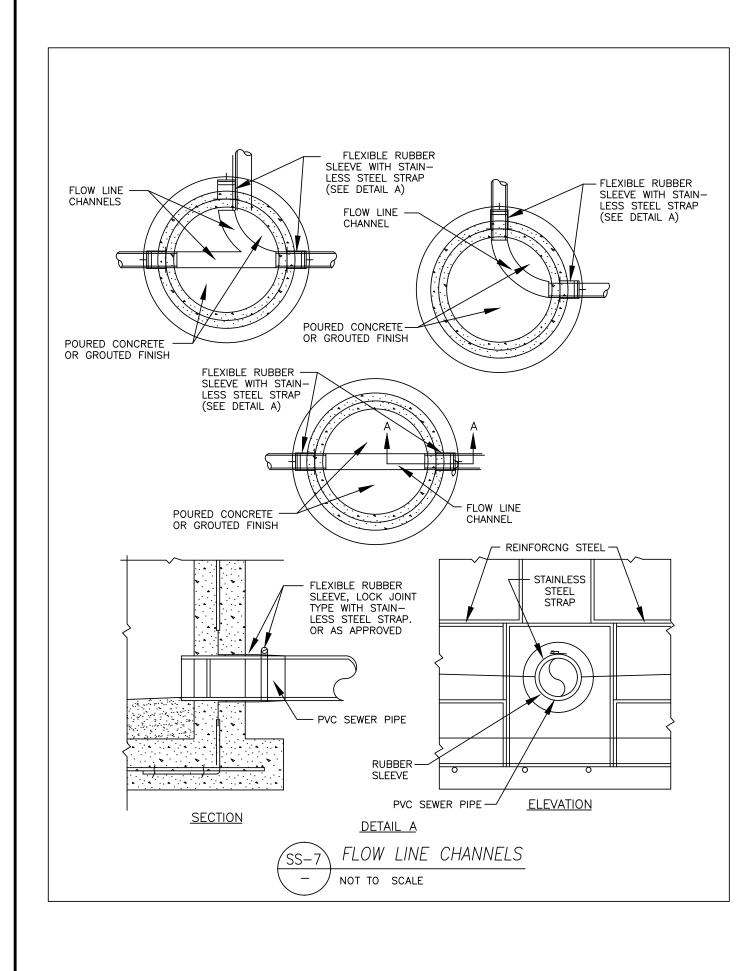
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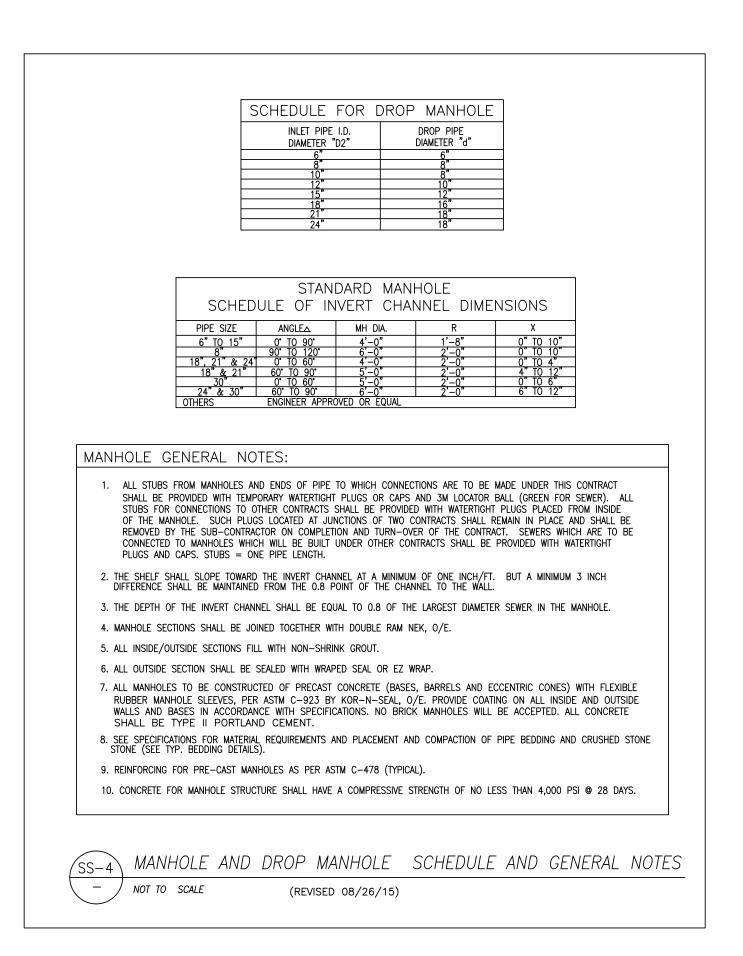
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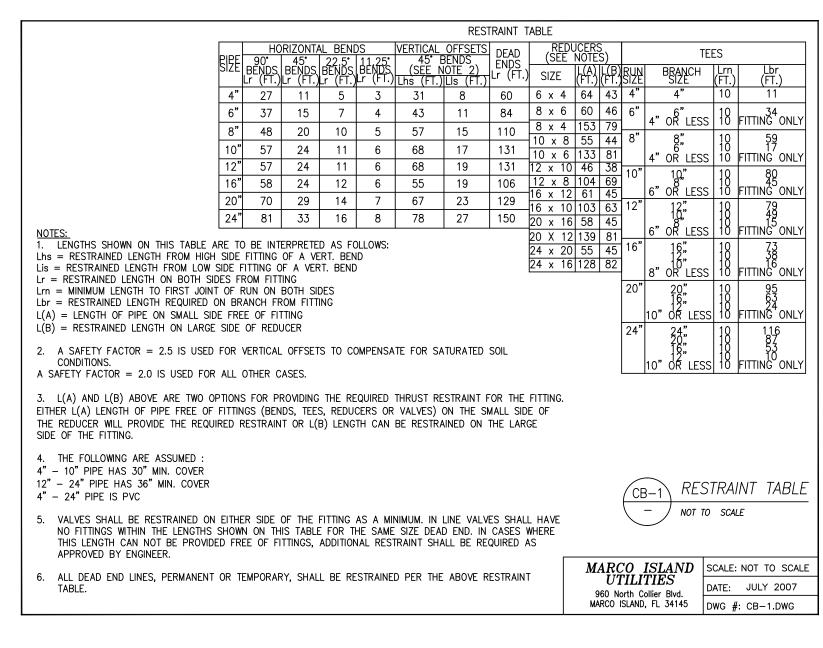
CONSULTANTS, INC.

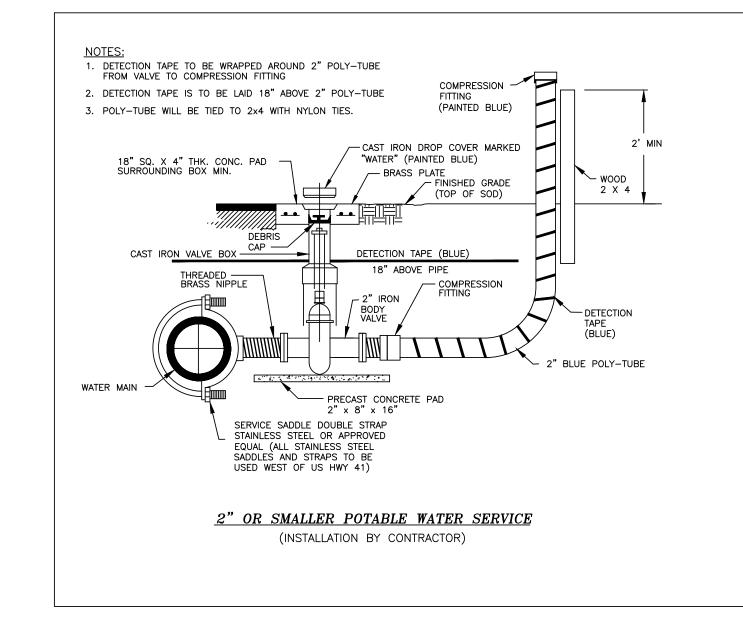
ENGINEER OF MARCO 18

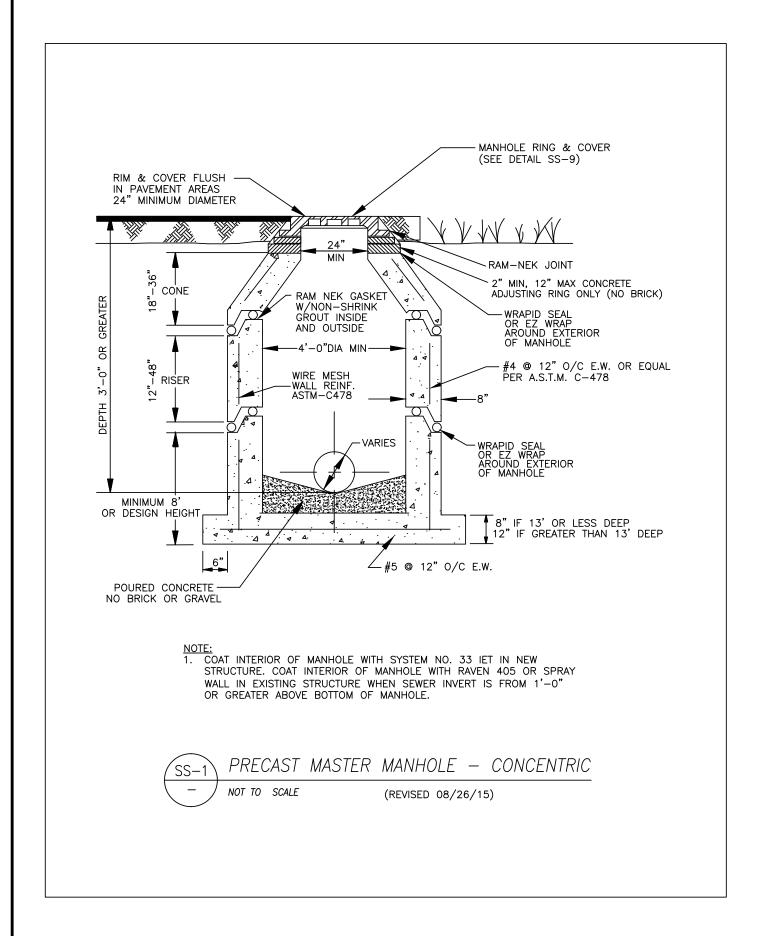
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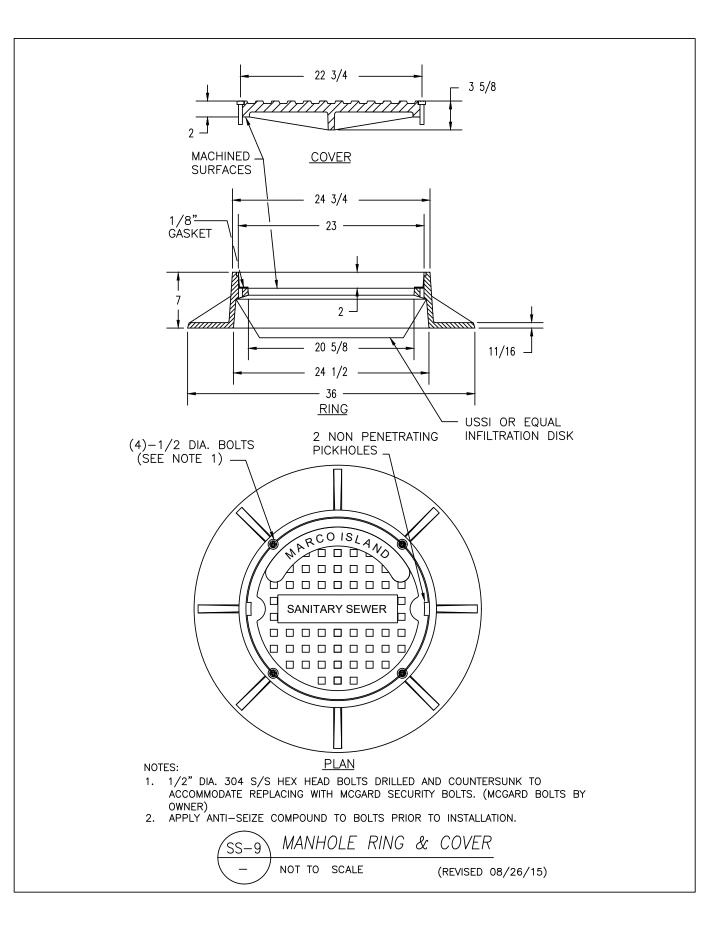


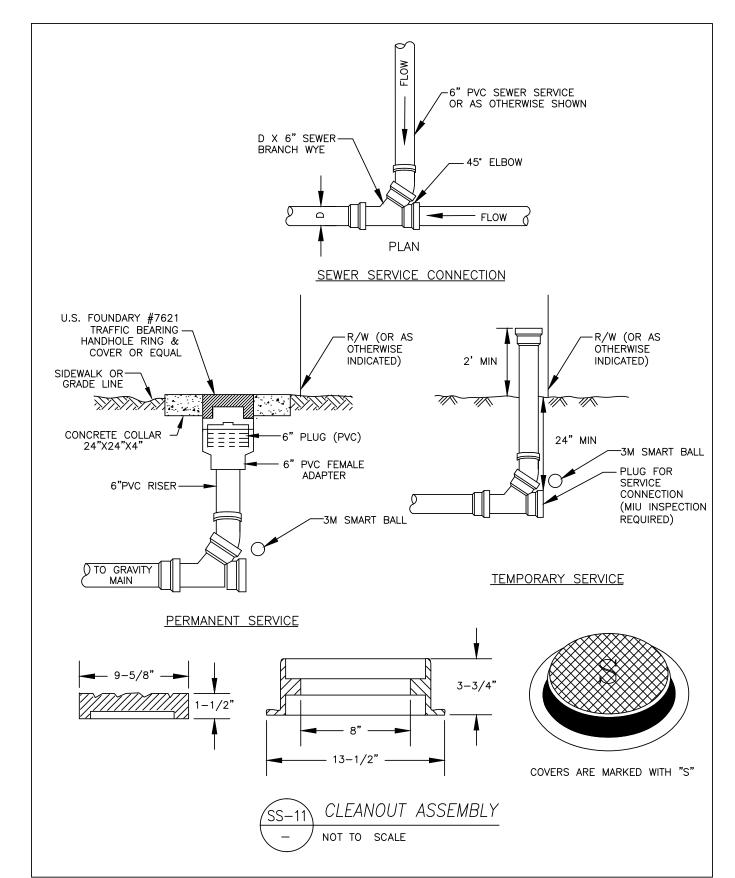


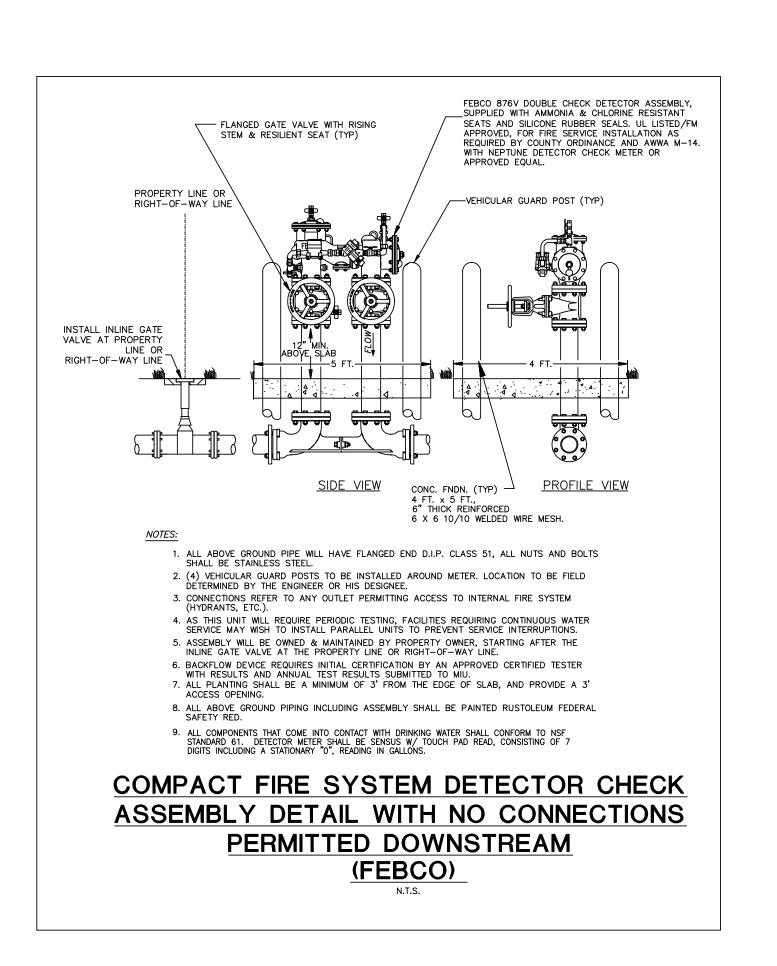












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