

Bargain Basket Marco Island Site Development Plans

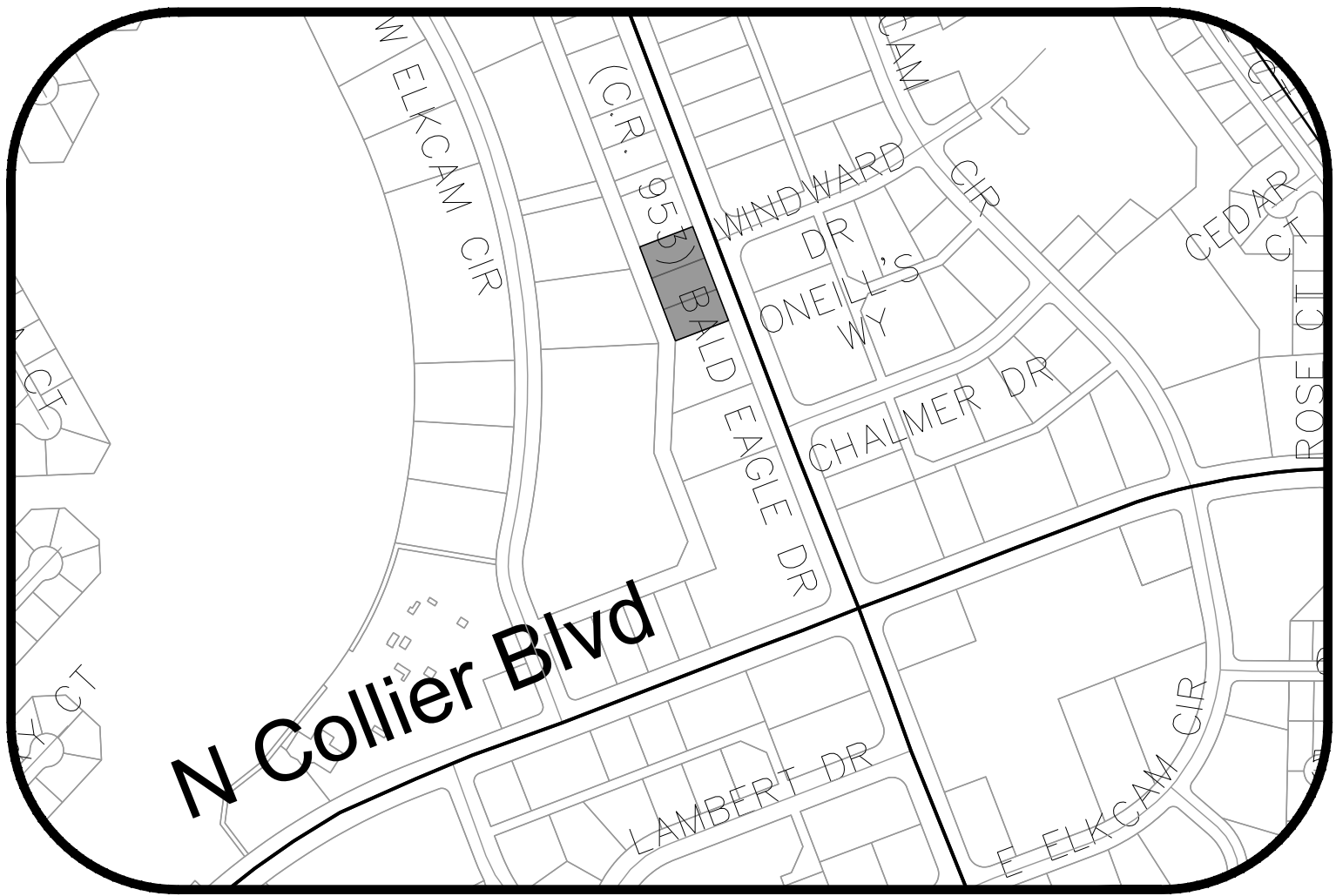
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Located in MARCO ISLAND, COLLIER
Section 8, Township 52 South, Range 26 East

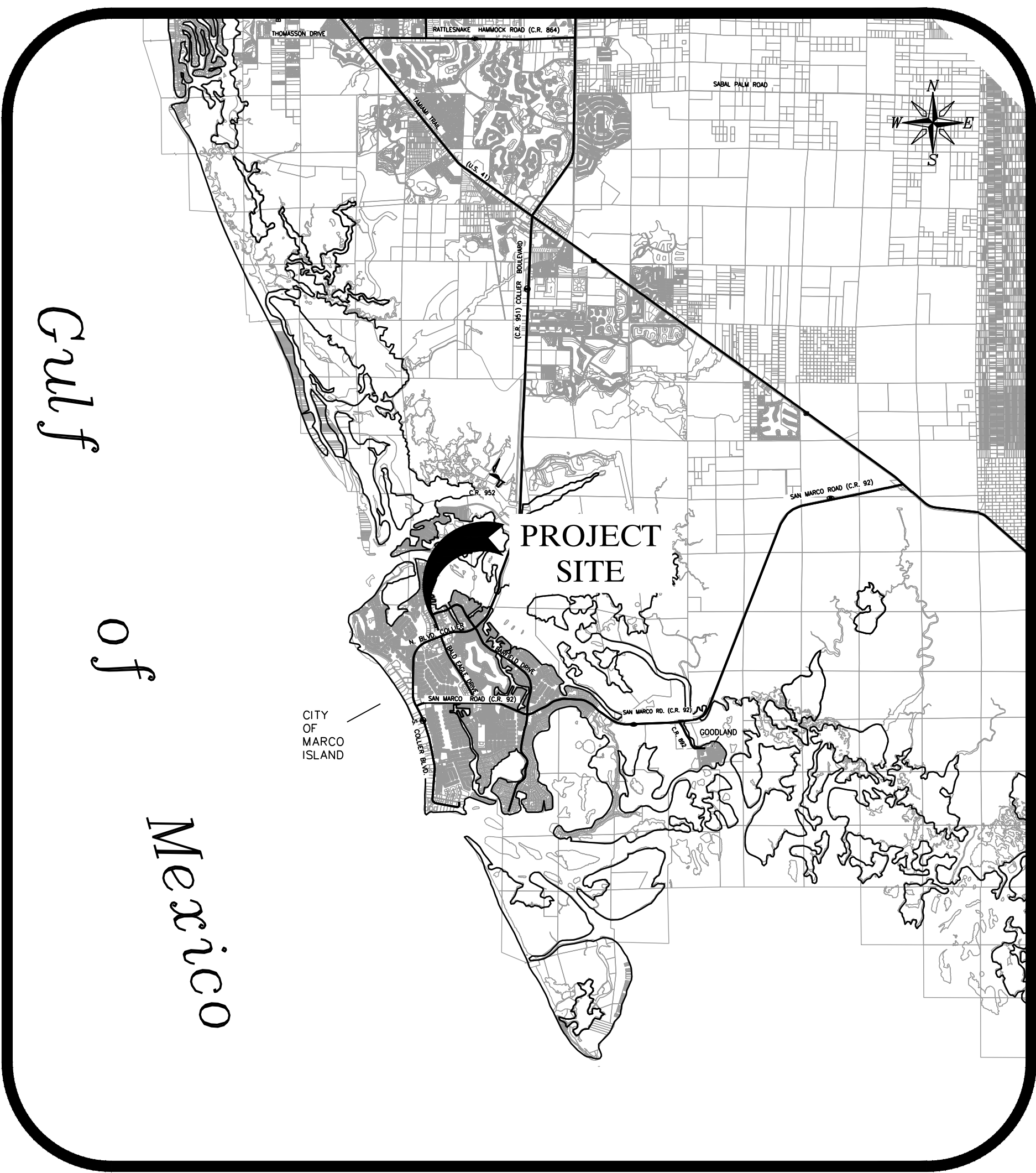
Owner/Developer:

United Church of Marco Island
750 Bald Eagle Drive
Marco Island, FL 34145
Tel: 239-394-6640

COLLIER COUNTY FOLIO NUMBER: 57991200001



Vicinity Map
N.T.S.



Location Map
N.T.S.

Prepared by:



GradyMinor

Civil Engineers • Land Surveyors • Planners • Landscape Architects
Cert. of Auth. EB 0005151 Cert. of Auth. LB 0005151 Business LC 26000266

Bonita Springs: 239.947.1144

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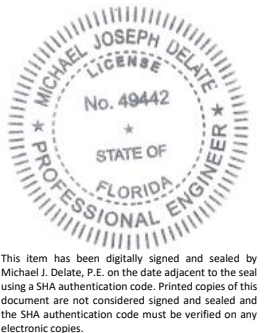
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Index of Sheets

| Dwg. No. | Sheet Description |
|----------|-------------------------------------|
| 1 | COVERSHEET AND INDEX OF DRAWINGS |
| 2 | GENERAL NOTES |
| 3 | AERIAL AND EXISTING CONDITOINS |
| 4 | SITE PLAN |
| 5 | GRADING, PAVING AND DRAINAGE PLAN |
| 6 | ERISION CONTROL AND DEMOLITION PLAN |
| 7 | GENERAL DETAILS |

Revisions

| Revision | Date | Description | By |
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DATE: SEPTEMBER 2024
FILE NAME: VLABB-SDP-COV.DWG
JOB CODE: VLABB
SHEET NUMBER 1 OF 9

SUBMITTAL
SDP

Bargain Basket Marco Island
Site Development Plans

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STANDARD ABBREVIATIONS

| | |
|-------------|---------------------------------------|
| - | APPROXIMATE |
| AFD | AUTOMATIC FLUSHING DEVICE |
| ARV | AIR RELEASE VALVE |
| BFP | BACK FLOW PREVENTER DEVICE |
| BL | BASELINE |
| BLVD. | BOULEVARD |
| BOC | BACK OF CURB |
| BOV | BLOW-OFF VALVE |
| BSF | BACTERIAL SAMPLE POINT |
| CATV | CABLE TELEVISION |
| CB | CATCH BASIN |
| CL | CENTERLINE |
| CMP | CORRUGATED METAL PIPE |
| CO | CLEAN OUT |
| CONC. | CONCRETE |
| CPP | CORRUGATED PLASTIC PIPE |
| CS | STORM WATER CONTROL STRUCTURE |
| CTRL | CONTROL ELEVATION |
| CUE | COUNTY UTILITY EASEMENT |
| CV | CHECK VALVE |
| DBI | DITCH BOTTOM INLET |
| DE | DRAINAGE EASEMENT |
| DEPT. | DEPARTMENT |
| DIP | DUCTILE IRON PIPE |
| EL OR ELEV. | ELEVATION |
| EOP | EDGE OF PAVEMENT |
| EOW | EDGE OF WATER |
| ERCP | ELLIPTICAL REINFORCED CONCRETE PIPE |
| ESMT | EASEMENT |
| EX | EXISTING |
| FDC | FIRE DEPARTMENT CONNECTION |
| FDOT | FLORIDA DEPARTMENT OF TRANSPORTATION |
| FES | FLARED END SECTION |
| FEMA | FEDERAL EMERGENCY MANAGEMENT AGENCY |
| FFE | FINISHED FLOOR ELEVATION |
| FI | FIRE HYDRANT ASSEMBLY WITH GAVE VALVE |
| F.L. | FIRE LINE |
| F.M. | FORCE MAIN |
| FPL | FLORIDA POWER & LIGHT |
| GV or WV | WATER MAIN GATE VALVE WITH VALVE BOX |
| H/C | HANDICAP |
| HDPE | HIGH DENSITY POLYETHYLENE |
| HORIZ. | HORIZONTAL |
| HW | CONCRETE HEADWALL |
| ICV | IRRIGATION CONTROL VALVE |
| IM | IRRIGATION MAIN |
| INC. | INCORPORATED |
| INV. | INVERT |
| IRR. | IRRIGATION |
| JB | JUNCTION BOX |
| LBE | LANDSCAPE BUFFER EASEMENT |
| L.F. | LINEAR FEET |
| LME | LAKE MAINTENANCE EASEMENT |
| LP | LIGHT POLE |
| MAX. | MAXIMUM |
| MES | MITERED END SECTION |
| MH | MANHOLE |
| M.J. | MECHANICAL JOINT |
| MIN. | MINIMUM |
| NGVD | NATIONAL GEODETIC VERTICAL DATUM |
| NIC | NOT IN CONTRACT |
| N.T.S. | NOT TO SCALE |
| PBSP | PERMANENT BACTERIAL SAMPLE POINT |
| PC | POINT OF CURVE |
| PE | PIPE END |
| PV | POST INDICATOR VALVE |
| PL | PROPERTY LINE |
| POB | POINT OF BEGINNING |
| POC | POINT OF COMMENCEMENT |
| POT. | POTABLE |
| PROP. | PROPOSED |
| PT | POINT OF TANGENT |
| PUE | PUBLIC UTILITY EASEMENT |
| PVC | POLYVINYL CHLORIDE PIPE |
| PVI | POINT OF VERTICAL INTERSECTION |
| PVMT. | PAVEMENT |
| P.S. | PUMP STATION |
| RED. | REDUCER |
| RCP | REINFORCED CONCRETE PIPE |
| R.O.W. | RIGHT-OF-WAY |
| SAN. | SANITARY |
| SB | SOIL BORING |
| SSS | SANITARY SEWER SERVICE WITH CLEANOUT |
| ST. | STREET |
| STA. | STATION |
| SV/PV | SANITARY PLUG VALVE |
| SWK. | SIDEWALK |
| SWR. | SEWER |
| TBSP | TEMPORARY BACTERIAL SAMPLE POINT |
| TEMP. | TEMPORARY |
| TI | THROAT INLET |
| TOB | TOP OF BANK |
| TOS | TOE OF SLOPE |
| TP. | TYPICAL |
| UE | UTILITY EASEMENT |
| UP | UTILITY POLE |
| UPC | UTILITY POLE - CONCRETE |
| UPM | UTILITY POLE - METAL |
| UPW | UTILITY POLE - WOOD |
| VERT. | VERTICAL |
| V.G. | VALLEY GUTTER |
| VGI | VALLEY UTTER INLET |
| w/ | WITH |
| W.M. | WATER MAIN |
| W.S. | WATER SERVICE WITH WATER METER |
| YD | YARD DRAIN |

GENERAL NOTES

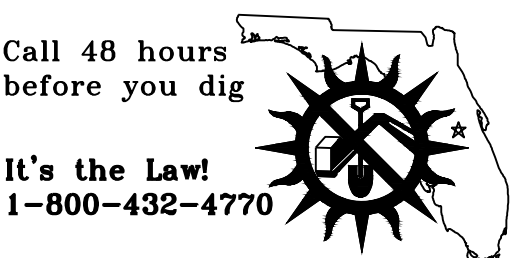
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH MARCO ISLAND AND STATE STANDARDS AND SPECIFICATIONS.
- ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM 1988 (NAVD 88) UNLESS OTHERWISE NOTED.
- TO CONVERT TO NATIONAL GEODETIC VERTICAL DATUM (NGVD - 1929), ADD 1.309.
- EXISTING DRAINAGE STRUCTURES WITHIN CONSTRUCTION LIMITS SHALL REMAIN, UNLESS OTHERWISE NOTED IN THE PLANS.
- ANY PUBLIC LAND PROPERTY CORNER WITHIN THE LIMITS OF CONSTRUCTION IS TO BE PROTECTED BY THE CONTRACTOR. IF A CORNER MONUMENT IS IN DANGER OF BEING DESTROYED AND HAS NOT BEEN PROPERLY REFERENCED, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER. ANY SURVEY MONUMENT DESTROYED BY CONSTRUCTION ACTIVITIES SHALL BE REPLACED BY A REGISTERED SURVEYOR & MAPPER AT THE CONTRACTOR'S EXPENSE.
- COORDINATES ARE IN STATE PLANE EAST.
- CONTRACTOR SHALL NOT DISTURB AREAS BEYOND 5 FEET OUTSIDE PROPOSED TOE-OF-SLOPE OR TOP OF DITCH. CONTRACTOR SHALL NOT WORK OUTSIDE OF RIGHT OF WAY LINE OR EASEMENTS.
- BLACK SILT FENCE SHALL BE PLACED ALONG THE PROPERTY LINES AND/OR CONSTRUCTION LIMITS PRIOR TO CONSTRUCTION. REFER TO EROSION CONTROL PLAN SHEET FOR SILT FENCE CONSTRUCTION INFORMATION, AS APPLICABLE.
- ALL DISTURBED AREAS SHALL RECEIVE SEED AND MULCH, EXCEPT WHERE SPECIFICALLY IDENTIFIED AS A PAY ITEM FOR A PARTICULAR AREA, SEED AND MULCH IS INCIDENTAL TO THE PROJECT.
- UTILIZE SYNTHETIC BALES, TEMPORARY BERMING, SOD, SEED, AND MULCH TO CONTROL EROSION AS REQUIRED OR DIRECTED BY THE OWNER OR ENGINEER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREVENTION AND CONTROL OF ANY EROSION, SEDIMENTATION OR SURFACE WATER TURBIDITY CAUSED BY THEIR ACTIVITY.
- CONTROL STRUCTURES, SEDIMENT SUMPS AND OTHER FEATURES PERMITTED AS PART OF THE WATER MANAGEMENT SYSTEM SHALL BE CONSTRUCTED AS EARLY AS POSSIBLE IN THE CONSTRUCTION SEQUENCE.
- ALL JUNCTION BOX RIMS AND GRATE INLETS SHALL BE SET AT THE PROPOSED FINISHED GRADE. ENGINEER AND/OR OWNER MAY ADJUST RIM AND GRATE ELEVATIONS IN FIELD.
- DURING CONSTRUCTION, GRATE INLET AND JUNCTION BOX OPENINGS SHALL BE COVERED WITH FILTER FABRIC (MIRAFI 140N OR APPROVED EQUAL) TO PREVENT DEBRIS AND FILL FROM FALLING INTO THE INLET.
- LANDSCAPING AND IRRIGATION SHALL BE INSTALLED PRIOR TO PRELIMINARY ACCEPTANCE.
- EXISTING REFERS TO FACILITIES PREVIOUSLY CONSTRUCTED
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. ANY DEVIATION IN PLAN INFORMATION SHALL BE REPORTED TO THE ENGINEER AND OWNER'S REPRESENTATIVE IMMEDIATELY.
- CONTRACTOR IS REQUIRED TO OBTAIN FROM THE ENGINEER AND OWNER WRITTEN APPROVAL FOR ANY DEVIATION IN PLANS AND/OR SPECIFICATIONS.
- CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE COLLIER COUNTY GROUNDWATER PROTECTION ORDINANCE NO. 91-103, SECTION 4.10.1.1.2A.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING TRAFFIC AND USAGE OF THE EXISTING STREETS ADJACENT TO THE PROJECT. ALL TRAFFIC MAINTENANCE CONTROL SHALL BE IN ACCORDANCE WITH MANUAL OF ON UNIFORM TRAFFIC CONTROL DEVICES AND SAFE PRACTICES FOR STREET CONSTRUCTION, MAINTENANCE, AND UTILITY OPERATIONS. TRAFFIC CONTROL OPERATION PROCEDURES SHALL BE SUBMITTED TO OWNER FOR APPROVAL PRIOR TO BEGINNING CONSTRUCTION.
- INSTALLATION OF SUBSURFACE CONSTRUCTION, INCLUDING BUT NOT LIMITED TO WATER AND IRRIGATION LINES, SEWER LINES, PUBLIC UTILITIES AND STORM DRAINAGE IS REQUIRED PRIOR TO COMPACTION OF SUBGRADE AND ROADWAY CONSTRUCTION.
- CONTRACTOR SHALL ATTEND PRE-CONSTRUCTION MEETING WITH MARCO ISLAND, OWNER AND ENGINEER PRIOR TO START OF CONSTRUCTION.
- THE FIRE PROTECTION WATER SUPPLY INCLUDING FIRE HYDRANTS, SHALL BE INSTALLED AND IN-SERVICE PRIOR TO PLACING COMBUSTIBLE MATERIALS ON SITE. FIRE HYDRANTS SHALL BE MARKED IN A UNIFORM MANNER, IN ACCORDANCE WITH NFPA 291.
- EXOTIC VEGETATION AS DEFINED BY MARCO ISLAND LAND DEVELOPMENT CODE [LDC] SHALL BE REMOVED FROM THE SITE AND SUBSEQUENT ANNUAL EXOTIC REMOVAL (IN PERPETUITY) SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
- CONTRACTOR SHALL CLEAR ALL EXCAVATION AND FILL AREAS. ACTUAL LIMITS OF CLEARING SHALL BE DETERMINED IN THE FIELD BY OWNER OR ENGINEER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ALL TREES, BRUSH, STUMPS AND DEBRIS (INCLUDING EXISTING STRUCTURES) NOT REQUIRED TO REMAIN IN THE PROPOSED CONSTRUCTION AREA. WHERE SO DEPICTED BY THE OWNER'S REPRESENTATIVE, TREES AND VEGETATION WITHIN THE CLEARING LIMITS SHALL BE PROTECTED, LEFT STANDING, AND TRIMMED TO PREVENT DAMAGE TO LIMBS AND ROOTS DURING CONSTRUCTION.
- CONTRACTOR SHALL REMOVE ALL MUCK AND OTHER UNSUITABLE MATERIAL FROM FILL AREAS PRIOR TO PLACEMENT OF FILL. ALL MUCK AND OTHER UNSUITABLE MATERIAL EXCAVATION FROM LAKES OR REMOVED FROM FILL AREAS SHALL BE STOCKPILED AND THEN DISPOSED OF PROPERLY. IT WOULD BE RESPONSIBILITY OF CONTRACTOR TO DISPOSE.
- ALL FILL SLOPES SHALL BE PROPERLY COMPACTED AS REQUIRED IN THE SPECIFICATIONS AND SHALL BE SODDED AS DIRECTED BY OWNER WITHIN 28 HOURS OF FINAL GRADING.
- THE CONTRACTOR SHALL ACCURATELY PLOT THE LOCATIONS AND DEPTHS OF ALL IMPROVEMENTS INSTALLED ON A FINAL SET OF RECORD DRAWINGS WHICH SHALL BE DELIVERED TO THE ENGINEER IMMEDIATELY.
- THE REVIEW AND APPROVAL OF THESE IMPROVEMENT PLANS DOES NOT AUTHORIZE THE CONSTRUCTION OF REQUIRED IMPROVEMENTS WHICH ARE INCONSISTENT WITH EXISTING EASEMENTS OF RECORDS.
- THE PROPERTY OWNER IS RESPONSIBLE FOR REPLACEMENT OF ALL DEAD LANDSCAPE MATERIAL AND MAINTENANCE OF THE REQUIRED IRRIGATION SYSTEM.
- THE OWNER OR HIS ASSIGNEE SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE WATER MANAGEMENT SYSTEM, OPEN SPACE, COMMON AREAS, PRIVATE STREETS, AND ONSITE WATER, SEWER AND IRRIGATION.
- CITY ROW PERMIT IS REQUIRED FOR ANY CONSTRUCTION/MAINTENANCE WORK PROPOSED WITHIN ANY PUBLIC ROADWAY ROW. CONTRACTOR REQUIRED TO APPLY FOR AND OBTAIN.

ROADWAY PAVING AND RESTORATION NOTES

- ASPHALTIC CONCRETE PAVEMENT SHALL BE CONSTRUCTED IN TWO LIFTS.
- 5 1/2 INCH LIMEROCK BASE MATERIAL MAY BE SUBSTITUTED AS AN ALTERNATE DESIGN TO THE 12 INCH STABILIZED SUBGRADE. ALL SPECIFICATIONS FOR LIMEROCK BASE MATERIAL SHALL BE ADHERED TO.
- 12 INCH STABILIZED SUBGRADE SHALL EXTEND ONE FOOT BEYOND THE BACK-OF-CURB ON ALL TYPICAL ROADWAY SECTIONS.
- CONTRACTOR SHALL REFERENCE LANDSCAPE ARCHITECTURAL PLANS FOR GROUND COVER SPECIFICATIONS.

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DRAWN BY:

MA

APPROVED:

MJD

JOB CODE:

VLABB

SCALE:

1" = 40'



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BARGAIN BASKET MARCO ISLAND

GENERAL NOTES

ELEVATIONS SHOWN HEREON ARE BASED UPON NORTH AMERICAN VERTICAL DATUM 1988 (NAVD '88)
CONVERSION FACTOR TO NATIONAL GEODETIC VERTICAL DATUM 1929 (NGVD '29) IS (+)1.309

MICHAEL J. DELATE, P.E.
FLORIDA P.E. LICENSE NO. 49442

MUNICIPALITY:

MARCO ISLAND

SEC/TOWNSHIP/RNG

8/52S/26E

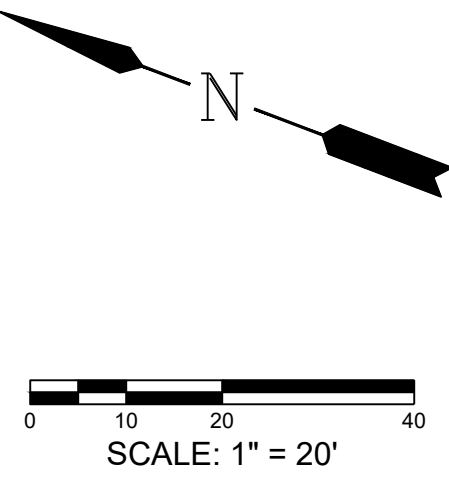
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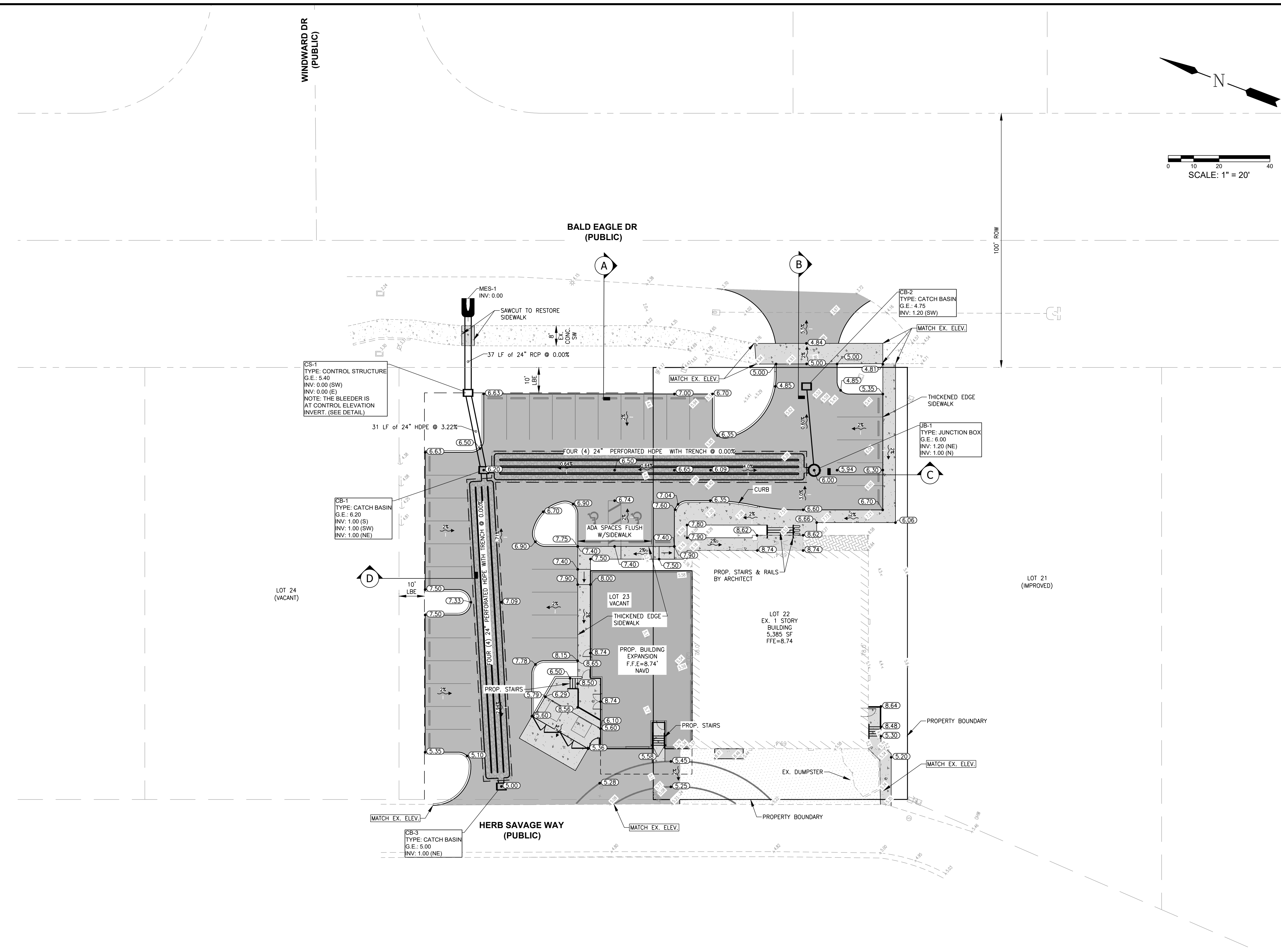
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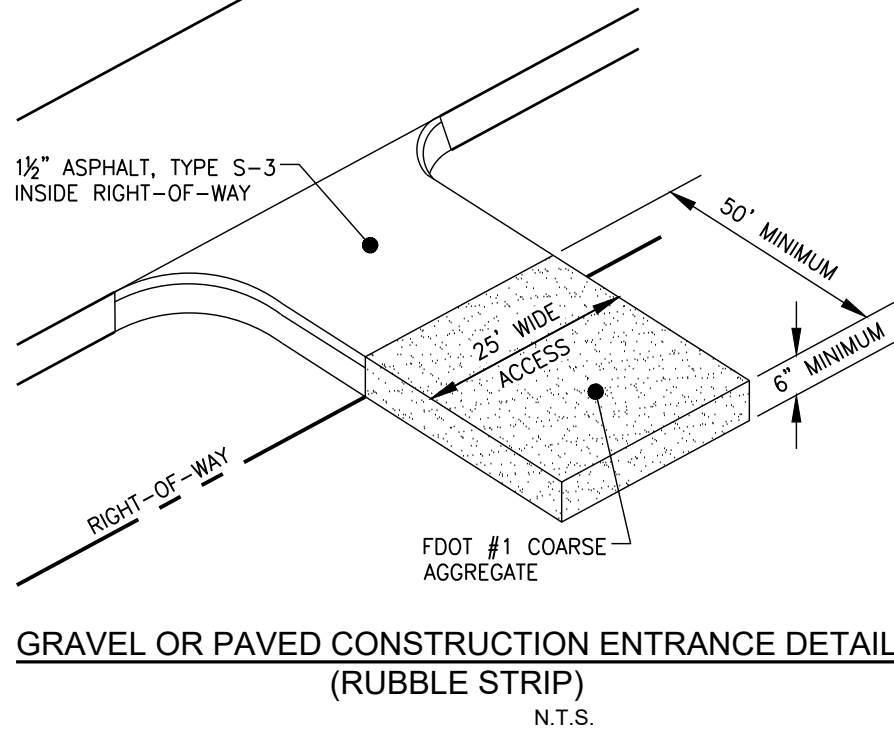
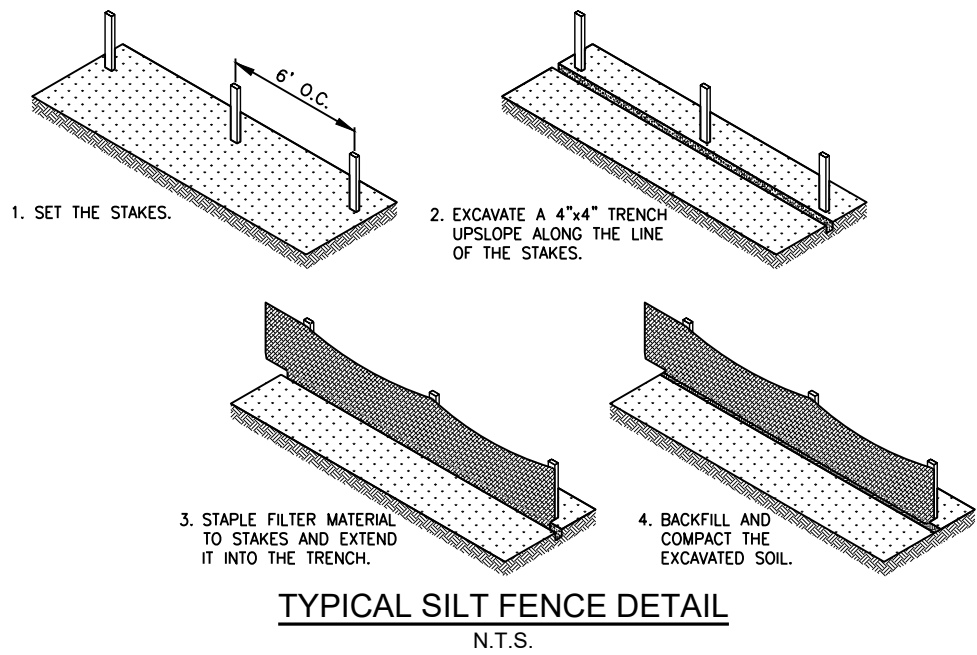
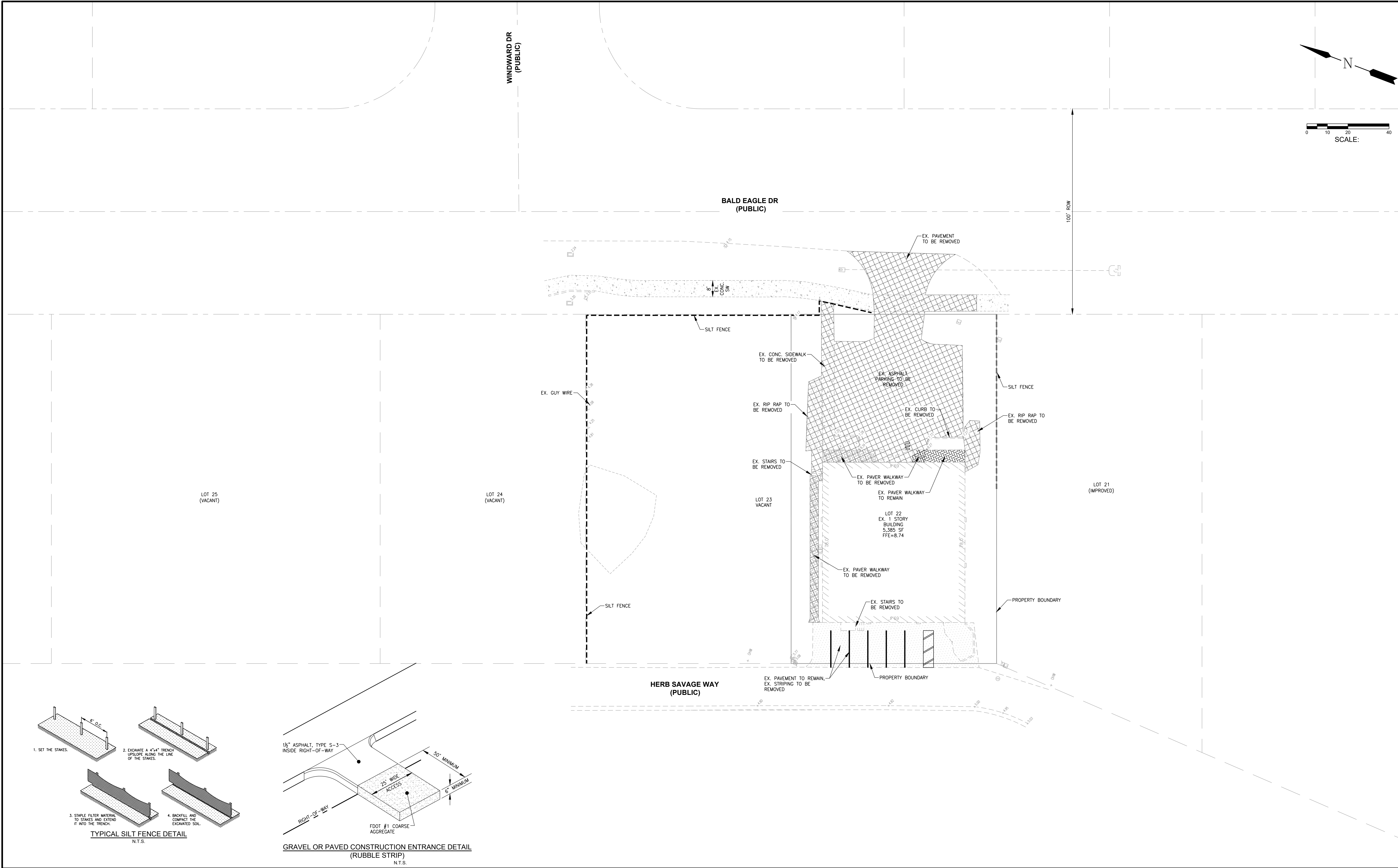
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