

SITE DEVELOPMENT PLAN AMENDMENT TO SDP # 88-40A MARCO TOWN CENTER

Located within Section 8, Township 52 South, Range 26 East
Collier County, Florida

OWNER:

Brixmor
3440 Preston Ridge Road, Suite 425 Bldg. 4
Alpharetta, Georgia 30005
(770) 360-8400 Phone

AGENT:

Hole Montes
950 Encore Way
Naples, Florida 34110
(239) 254-2000 Phone
(239) 254-2099 Fax

FOLIO NUMBER:

569309600002

ADJACENT ZONING:

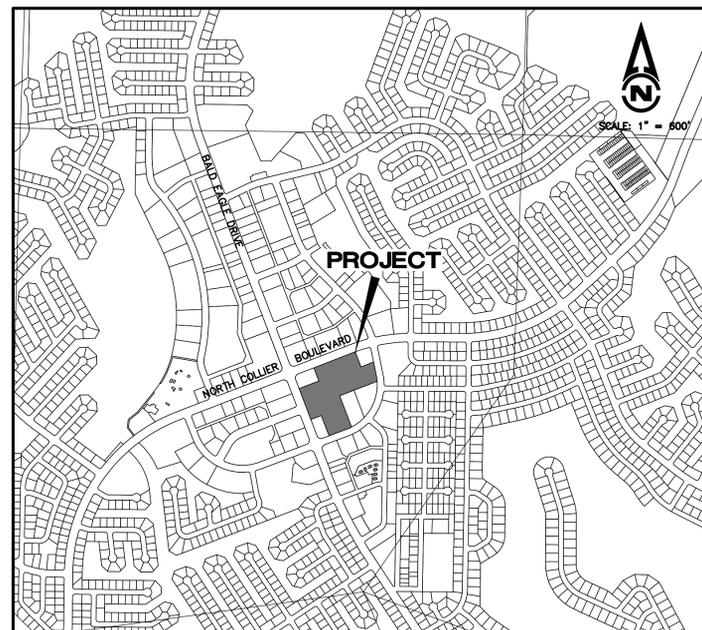
NORTH C-4/ROW
SOUTH C-4/ROW
EAST C-4/ROW
WEST C-4/ROW

SITE ZONING:

PRESENT ZONING.... C-4

SITE ADDRESS:

1089 NORTH COLLIER BLVD.
Marco Island FL. 34145

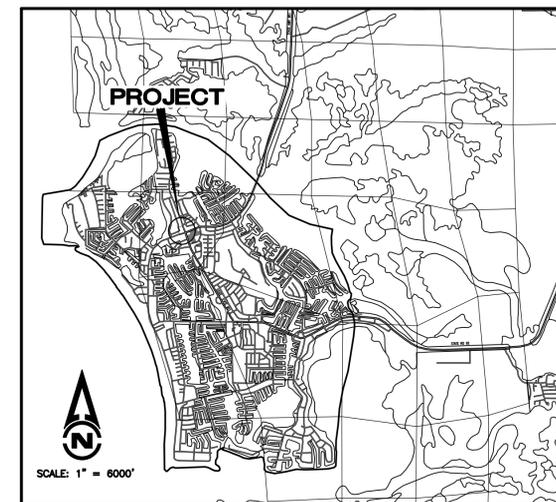


VICINITY MAP - MARCO ISLAND

LEGAL DESCRIPTION:

THAT CERTAIN PARCEL OF LAND LYING IN AND BEING PART OF TRACT "G" OF MARCO BEACH UNIT FOUR, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 6, PAGES 32 THROUGH 37 INCLUSIVE, OF THE PUBLIC RECORDS OF COLLIER COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE CENTERLINE INTERSECTION OF NORTH COLLIER BOULEVARD AND STATE ROAD 953, FORMERLY KNOWN AS SR S-951, THENCE RUN SOUTH 20° 52' 10" EAST ALONG SAID CENTERLINE OF SR 953 FOR A DISTANCE OF 215.00 FEET; THENCE NORTH 69° 07' 50" EAST FOR A DISTANCE OF 50 FEET TO A POINT ON THE NORTHEASTERLY RIGHT OF WAY LINE OF SAID SR 953 AND THE POINT OF BEGINNING OF THE PARCEL OF LAND HEREINAFTER DESCRIBED, THENCE RUN NORTH 68° 56' 14" EAST FOR A DISTANCE 250.56 FEET; THENCE NORTH 21° 03' 46" WEST FOR A DISTANCE OF 165.00 FEET TO A POINT ON THE SOUTHEASTERLY RIGHT OF WAY LINE OF NORTH COLLIER BOULEVARD; THENCE NORTH 68° 56' 14" EAST ALONG SAID RIGHT OF WAY FOR A DISTANCE OF 489.88 FEET TO THE POINT OF CURVATURE OF A CIRCULAR CURVE TO THE RIGHT HAVING A RADIUS OF 1950 FEET; THENCE RUN EASTERLY ALONG SAID RIGHT OF WAY LINE AND THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 00° 57' 41" FOR A DISTANCE OF 32.72 FEET; THENCE LEAVING SAID RIGHT OF WAY LINE SOUTH 21° 03' 46" EAST FOR A DISTANCE OF 189.73 FEET; THENCE NORTH 68° 56' 14" EAST FOR A DISTANCE OF 160.00 FEET TO A POINT ON THE WESTERLY RIGHT OF WAY LINE OF ELKCAM CIRCLE, AS SHOWN ON SAID PLAT OF MARCO BEACH UNIT FOUR; THENCE SOUTH 11° 37' 15" EAST ALONG SAID WESTERLY RIGHT OF WAY LINE FOR A DISTANCE OF 155.72 FEET TO THE POINT OF CURVATURE OF A CIRCULAR CURVE TO THE RIGHT HAVING A RADIUS OF 560 FEET; THENCE RUN SOUTHERLY ALONG SAID RIGHT OF WAY LINE AND THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 06° 58' 29" FOR A DISTANCE OF 68.17 FEET; THENCE LEAVING SAID RIGHT OF WAY LINE SOUTH 68° 56' 14" WEST FOR A DISTANCE OF 474.21 FEET; THENCE SOUTH 21° 03' 46" EAST FOR A DISTANCE OF 398.22 FEET TO A POINT ON THE NORTHERLY RIGHT OF WAY LINE OF SAID ELKCAM CIRCLE, SAID POINT BEING ON A CURVE HAVING A RADIUS OF 560 FEET; THENCE ALONG SAID RIGHT OF WAY CURVING TO THE RIGHT AND HAVING A CENTRAL ANGLE OF 6° 54' 48" FOR A DISTANCE OF 67.57 FEET TO THE END OF THE CURVE; THENCE CONTINUE ALONG SAID RIGHT OF WAY SOUTH 69° 25' 00" WEST FOR A DISTANCE OF 220.20 FEET; THENCE LEAVING SAID RIGHT OF WAY NORTH 20° 52' 10" WEST FOR A DISTANCE OF 255.29 FEET; THENCE SOUTH 69° 07' 50" WEST FOR A DISTANCE OF 132.50 FEET TO A POINT ON THE EASTERLY RIGHT OF WAY OF STATE ROAD 953; THENCE NORTH 20° 52' 10" WEST ALONG SAID RIGHT OF WAY LINE FOR A DISTANCE OF 389.00 FEET TO THE POINT OF BEGINNING.



LOCATION MAP

LAND USE TABLE

ITEM	ACRES	PERCENT
PERVIOUS PAVERS	0.28	2.8%
PERVIOUS ASPHALT	0.53	5.2%
OTHER PAVING AND SIDEWALK	5.41	53.5%
BUILDINGS	2.53	25.0%
GRASS, LANDSCAPE & OPEN SPACE	1.37	13.5%
TOTAL	10.12	100.0

SHEET INDEX:

- 1 COVER SHEET
- 2 EXISTING CONDITIONS and DEMOLITION PLAN
- 3 MASTER SITE PLAN
- 4 PAVING, GRADING and DRAINAGE PLAN (NORTH)
- 5 PAVING, GRADING and DRAINAGE PLAN (SOUTH)
- 6 PAVING, GRADING and DRAINAGE DETAILS (1 of 2)
- 7 PAVING, GRADING and DRAINAGE DETAILS (2 of 2)



PARKING MATRIX

Total GLA	109,394
20% of GLA	21,879
Total Restaurant sf ¹	35,925
Restaurant GLA(indoor) above 20%	14,046

Required Parking	Ratio	s.f. OR seats	Required Spaces
Shopping Center	1/250 s.f.	95,045	380.2
Restaurant above 20% (indoor) seats	1 per 4 seats	390	97.5
Outdoor Seating	1 per 4 seats	230	57.5
Subtotal Required Parking			535.2
Parking Credits (bike rack, ped access, recycling facilities)			-3.0
Total			532.2
Parking Provided = Existing (511) + New (24)			535
			3 Surplus

Notes:

1. The tenant mix may change from time to time and may require submission of a revised parking matrix. Such revised parking matrix, if necessary, and the building information table may be submitted, with explanatory cover letter, as an insubstantial change to this SDP, provided the number of parking spaces is sufficient to meet the LDC requirements for the revised tenant mix.
2. New parking spaces are proposed by restriping and creating compact parking spaces.
3. Parking ratio for indoor and outdoor seating is based on LDC Amendment approved on 11/6/17.

Other Parking Information

Total Maximum Allowed Compact Parking Spaces:	134 (25% of Total)
Total Compact Parking Spaces Provided:	89
Total Required ADA parking:	11 (2% of Total)
Total ADA parking provided:	13

PREPARED BY :



Professional Registration No. 1772
Naples - Fort Myers - Venice - Englewood

REVISED: OCTOBER, 2018
REVISED: APRIL, 2018
REVISED: NOVEMBER, 2017
DATE : JULY, 2017

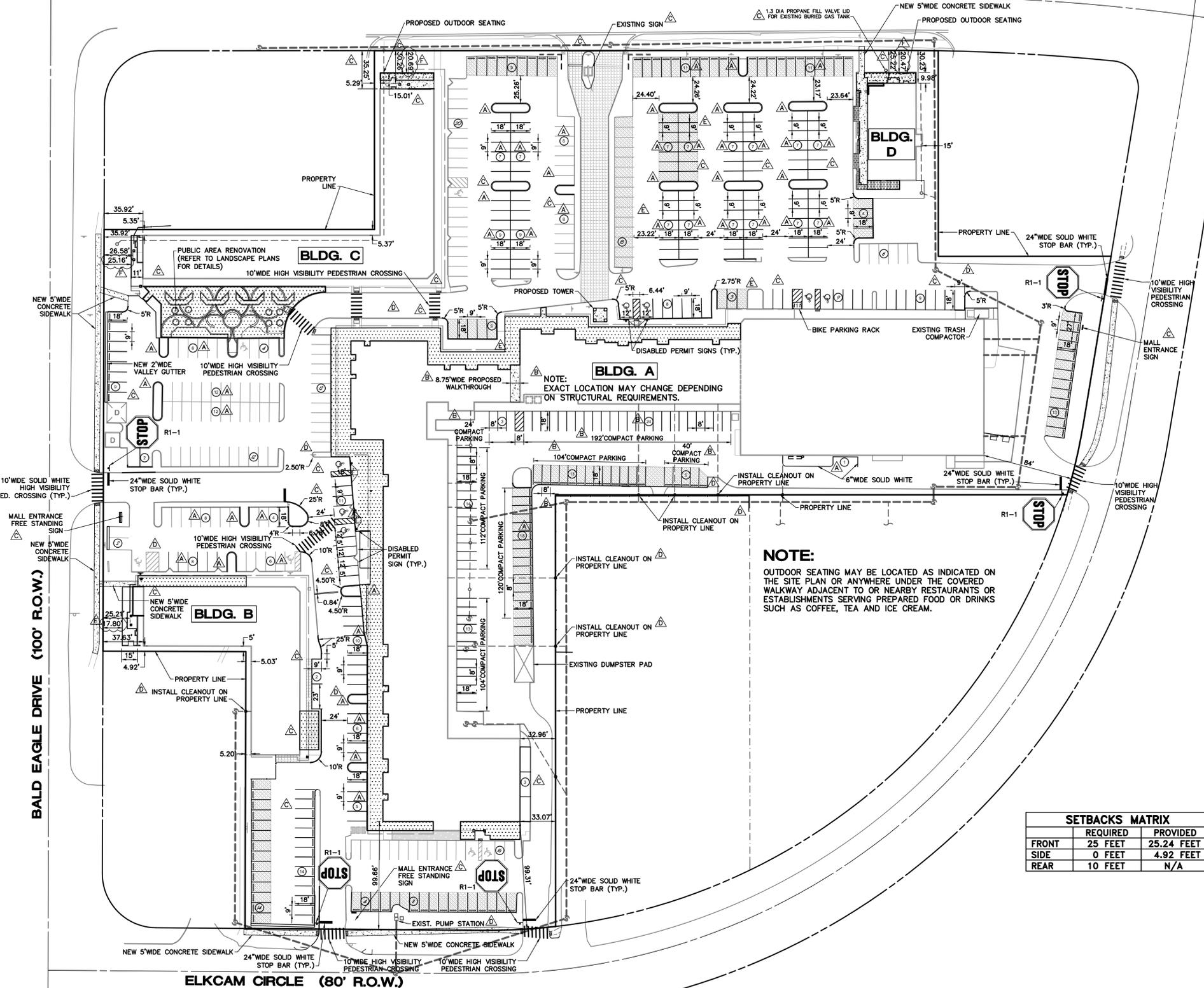
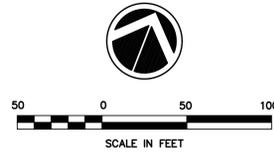
REVISED: OCTOBER, 2019
REVISED: SEPTEMBER, 2019
REVISED: SEPTEMBER, 2019
REVISED: APRIL, 2019

REVISOR	DATE	DESCRIPTION
△	10/19	REVISED PER CITY COMMENTS
△	9/19	REVISED PER CITY COMMENTS
△	9/19	REVISED PER SITE MODIFICATIONS
△	4/19	REVISED PER SITE MODIFICATIONS
△	10/18	REVISED PER CLIENT COMMENTS
△	4/18	ADDED 2" WIDE VALLEY GUTTER, DRAINAGE & WALKTHROUGH
△	11/17	REVISED PER CITY COMMENTS
△	DATE	REVISIONS

ENGINEER: W. TERRY COLE, P.E. LICENSE No. 42347

REFERENCE NO.	DRAWING NO.
15084CS01	4883-1
PROJECT NO.	SHEET NO.
2015.084	1 OF 7

NORTH COLLIER BOULEVARD (100' R.O.W.)



- LEGEND:**
- PROPOSED ASPHALT PAVEMENT
 - PROPOSED CONCRETE PAVEMENT AND SIDEWALK
 - PROPOSED OUTDOOR SEATING AREA

- NOTES:**
1. STOP BARS SHALL BE 24" SOLID WHITE.
 2. ALL PARKING SPACES SHALL BE 6" WIDE SOLID WHITE EXCEPT FOR HANDICAPPED PARKING SPACES. (SEE DETAIL).
 3. ALL DIRECTIONAL ARROWS SHALL BE PAINTED WHITE.
 4. BLUE REFLECTIVE PAVEMENT MARKERS SHALL BE LOCATED AT EACH FIRE HYDRANT, 7" OFFSET FROM CENTERLINE OF PAVEMENT ON HYDRANT SIDE, IN LINE WITH HYDRANT.
 5. REFER TO FLORIDA DEPARTMENT OF TRANSPORTATION (F.D.O.T.) FOR PAVEMENT MARKING DETAILS AND ADA RAMPS.
 6. CROSSWALKS AND STOP BARS IN PAVEMENT DRIVEWAYS CAN ALSO BE IN PAVERS WITH A MINIMUM OF 70% CONTRAST IN COLOR FOR OPTIMUM DELINEATION.

NOTE:
OUTDOOR SEATING MAY BE LOCATED AS INDICATED ON THE SITE PLAN OR ANYWHERE UNDER THE COVERED WALKWAY ADJACENT TO OR NEARBY RESTAURANTS OR ESTABLISHMENTS SERVING PREPARED FOOD OR DRINKS SUCH AS COFFEE, TEA AND ICE CREAM.

BUILDING INFORMATION

Tenant Name	Leasing Space #	GLA (sf)	% of Bldg	Outdoor Seats	Outdoor Bar Seats	Indoor Seats	Indoor Bar Seats	Use
Edward D. Jones #3332	188	1,299	1.2					Office
Advisor Rentals	21	1,200	1.1					Office
Premier Plus Realty	36	831	0.8					Office
Total:		3,330						
Marco Island Brewery	25-29	5,480	5.0	44	15	162	24	Restaurant - Full Service
VACANT RESTAURANT	37/38	6,120	5.6	20				VACANT RESTAURANT
Crazy Flamingo	39/41	2,250	2.1	25	21	42		Restaurant - Full Service
VACANT RESTAURANT	45/46/47/48/49	5,900	5.4	20				VACANT RESTAURANT
VACANT RESTAURANT	72/73	2,250	2.1	10				VACANT RESTAURANT
VACANT RESTAURANT	74	1,720	1.6	25				VACANT RESTAURANT
Breakfast Plus	51/52	2,300	2.1	20				Restaurant - Full Service
Margarita's	53-56	3,200	2.9	15		122	9	Restaurant - Full Service
Dunkin' Donuts	35	1,505	1.4	26		12		Restaurant - Limited Service
Summer Day Market & Cafe	57-59	2,400	2.2	10		16		Restaurant - Limited Service
Orange Leaf Frozen Yogurt	60/61	1,600	1.5	10		28		Restaurant - Limited Service
Jackie's Chinese Restaurant	26	1,200	1.1	5		8		Restaurant - Limited Service
Total:		35,925		230	36	390	33	
Publix #622	01	27,887	25.5					Retail
West Marine #510	02/03	4,956	4.5					Retail
The UPS Store	06	1,740	1.6					Retail
Everything But Water	09A	3,000	2.7					Retail
Periwinkles	10-14	2,550	2.3					Retail
Georgie's and the Shoe Resort	15/16	1,911	1.7					Retail
Blue Mangrove Gallery	17	1,410	1.3					Retail
Your Island Home	18A	1,300	1.2					Retail
OMG That's Chic	19/20	2,400	2.2					Retail
Marco Craft & Shell	22	1,200	1.1					Retail
Cost Cutters	32	960	0.9					Retail
Elite Nails	33	1,150	1.1					Retail
Island Time	42/43	1,350	1.2					Retail
Quest Diagnostics	44	675	0.6					Retail
Naples Soap	49	0.0	0.0					Retail (space counted as future restaurant)
Dana Tyler	50	0.0	0.0					Retail (space counted as future restaurant)
Marco Town Cleaners	63	800	0.7					Retail
Beachworks	64-66	2,750	2.5					Retail
Sandpiper Loft	67-71	3,750	3.4					Retail
Island Cigars	76	720	0.7					Retail
Publix Liquors	77	1,600	1.5					Retail
Marco Players	30-31	1,920	1.8					Storage
Total:		64,029						
Vacant	07/08	1,200	1.1					
Vacant	09	960	0.9					
Vacant	17A	800	0.7					
Vacant	23-24	2,350	2.1					
Vacant	62	800	0.7					
Total:		6,110						
TOTAL GLA		109,394	100.0	460	72	780	66	

SETBACKS MATRIX

	REQUIRED	PROVIDED
FRONT	25 FEET	25.24 FEET
SIDE	0 FEET	4.92 FEET
REAR	10 FEET	N/A

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LETTER	REVISIONS	DATE
A	REVISED PER CITY COMMENTS	10/19
B	REVISED PER SITE MODIFICATIONS	9/19
C	REVISED PER SITE MODIFICATIONS	4/19
D	REVISED PER CITY COMMENTS	10/18
E	REVISED PER SITE MODIFICATIONS	4/18
F	REVISED PER CITY COMMENTS	11/17

MARCO TOWN CENTER

DESIGNED BY
W.A.G.
DATE 7/17
DRAWN BY
A.L.J.
DATE 7/17
CHECKED BY
W.A.G.
DATE 7/17
VERTICAL SCALE
N/A
HORIZONTAL SCALE
1" = 50'



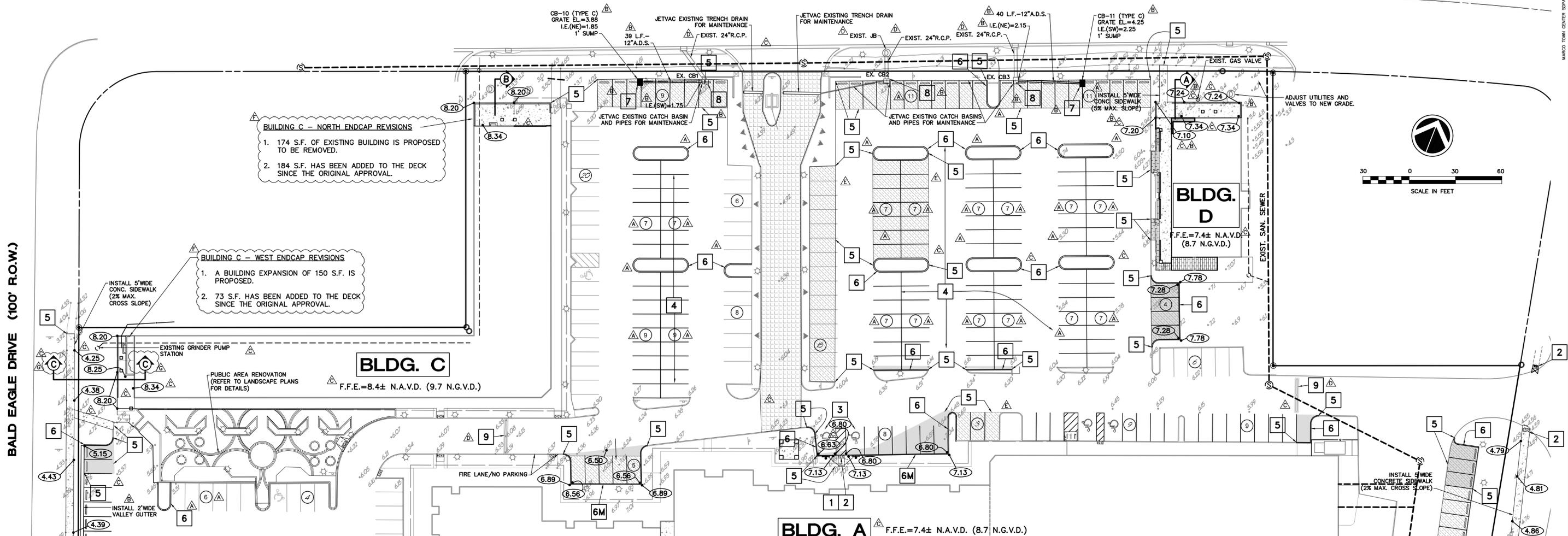
950 Encore Way
Naples, FL. 34110
Phone: (239) 254-2000
Florida Certificate of
Authorization No.1772

MASTER SITE PLAN

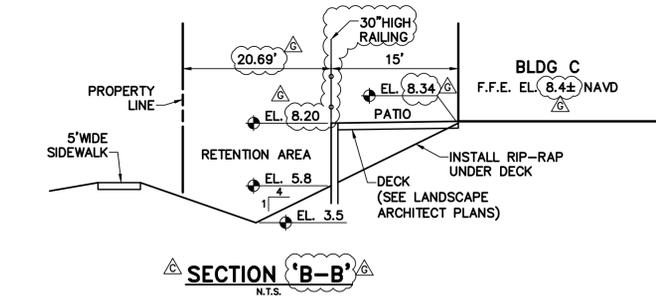
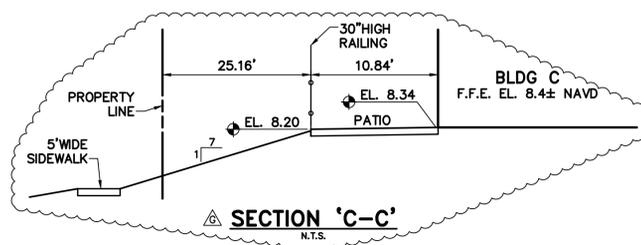
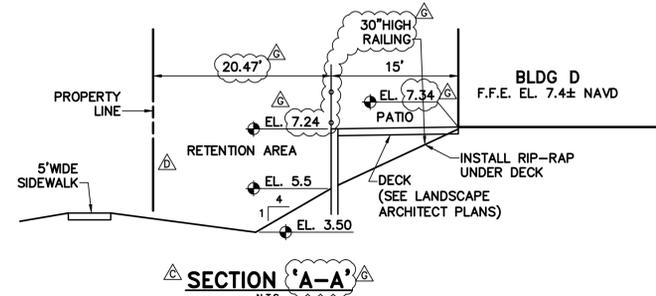
ENGINEER: W. TERRY COLE, P.E. LICENSE No. 42347

THESE DRAWINGS ARE NOT APPROVED FOR CONSTRUCTION UNLESS SIGNED BELOW:	CAD FILE NAME: 15084MSP1	DRAWING NO.:
DATE _____	PROJECT NO.:	SHEET NO.:
	2015.084	3 OF 7

NORTH COLLIER BOULEVARD (100' R.O.W.)



MATCH LINE - FOR CONTINUATION, SEE NEXT SHEET



At least every ninety (90) days, the Owner/Developer, its successors and assigns, shall check the pervious paver/asphalt system to assess the amount of infiltration occurring to maintain a level of permeability substantially similar to that in existence at the time of initial installation of the paver system. The inspection will include a visual inspection which will occur during a rain event. At least annually, or more often as needed to maintain substantially the same level of infiltration in existence at the time of initial installation of the pervious paver/asphalt system, the pervious pavement shall be cleaned using a vacuum truck, or other City approved methodology, to maintain substantially the same level of permeability as existed at the initial time of installation. Results of all quarterly inspections, shall be submitted in writing to the City Engineer annually.

FLOOD ZONE DATA:

THIS PROJECT IS LOCATED IN FLOOD ZONE 'AE' (EL. 8 FEET NAVD) PER PANEL NUMBER 12021C0828H (EFFECTIVE 5/16/2012).

- FLAG NOTES:**
- 1 PROVIDE/ADJUST ADA RAMP TYPE CR-A AT NEW ADA PARKING SPACES PER FDOT INDEX 304.
 - 2 ADA DETECTABLE WARNING MAT PER FDOT INDEX 304.
 - 3 REGRADE ALL ADA PARKING SPACES TO BE AT 2% MAXIMUM SLOPE IN ALL DIRECTIONS.
 - 4 RESTRIPE AS SHOWN FOR NEW PARKING CONFIGURATION.
 - 5 MATCH EXISTING PAVEMENT GRADE.
 - 6 TYPE D CURB (6" HIGH CURB)
 - 6M MODIFIED TYPE D CURB (4" HIGH CURB)
 - 7 INSTALL SUNTREE INLET FILTERS ON NEW CATCH BASIN.
 - 8 REPLACE EXISTING SUNTREE INLET FILTERS WITH NEW ONES.
 - 9 REMOVE EXISTING ASPHALT SPEED BUMP; CUT AND REMOVE ASPHALT 2' WIDE BY LENGTH OF HUMP AND PATCH WITH 1 1/2" TYPE S III ASPHALT.

- UTILITY NOTES:**
1. INSTALL SEWER CLEANOUTS AT PROPERTY LINE, RIGHT-OF-WAY LINE OR EASEMENT LINE WHERE THE PRIVATE SANITARY SEWER CONNECTS TO THE CITY OF MARCO ISLAND SANITARY SYSTEM.

- LEGEND:**
- PROPOSED ASPHALT PAVEMENT
 - PROPOSED PERVIOUS ASPHALT
 - PROPOSED CONCRETE PAVEMENT AND SIDEWALK
 - PROPOSED PERVIOUS PAVERS
- NOTES:**
1. EXISTING CONDITIONS AND UTILITIES ARE BASED UPON THE 'BOUNDARY AND TOPOGRAPHIC SURVEY OF MARCO TOWN CENTER 1089 NORTH COLLIER BOULEVARD' BY AMERICAN SURVEYING AND MAPPING INC. DATED 7/3/2017.
 2. LOCATION OF PERVIOUS PAVERS MAY VARY DURING FINAL DESIGN.
 3. ALL PROPOSED TRENCH DRAINS WILL BE FILCOTEN BY NDS TRENCH DRAIN OR APPROVED EQUAL.
 4. ALL THE UNDERCANOPY WALKING SURFACES TO BE TREATED WITH A STARDEK TYPE PRODUCT, COLOR TO MATCH EXISTING AT EXISTING NORTH SIDE OF BUILDING A.
 5. EXISTING FINISHED FLOOR ELEVATIONS ARE BASED ON THE 'BOUNDARY SURVEY OF MARCO TOWN CENTER MALL 1059 NORTH COLLIER BOULEVARD' BY AMERICAN ENGINEERING CONSULTANTS, INC., DATED 4/15/96.
 6. TO CONVERT FROM (N.A.V.D. TO N.G.V.D., ADD 1.31 FEET FROM N.A.V.D.)

REVISIONS	DATE
REVISED PER CITY COMMENTS	10/19
REVISED PER CITY COMMENTS	9/19
REVISED PER SITE MODIFICATIONS	9/19
REVISED PER FIRE DEPT. COMMENTS	4/19
REVISED PER CLIENT COMMENTS	10/18
REVISED PER SITE MODIFICATIONS	4/18
REVISED PER CITY COMMENTS	11/17

MARCO TOWN CENTER

DESIGNED BY	DATE
W.A.G.	5/17
DRAWN BY	DATE
A.L.J.	5/17
CHECKED BY	DATE
W.A.G.	6/17
VERTICAL SCALE	HORIZONTAL SCALE
N/A	1" = 30'

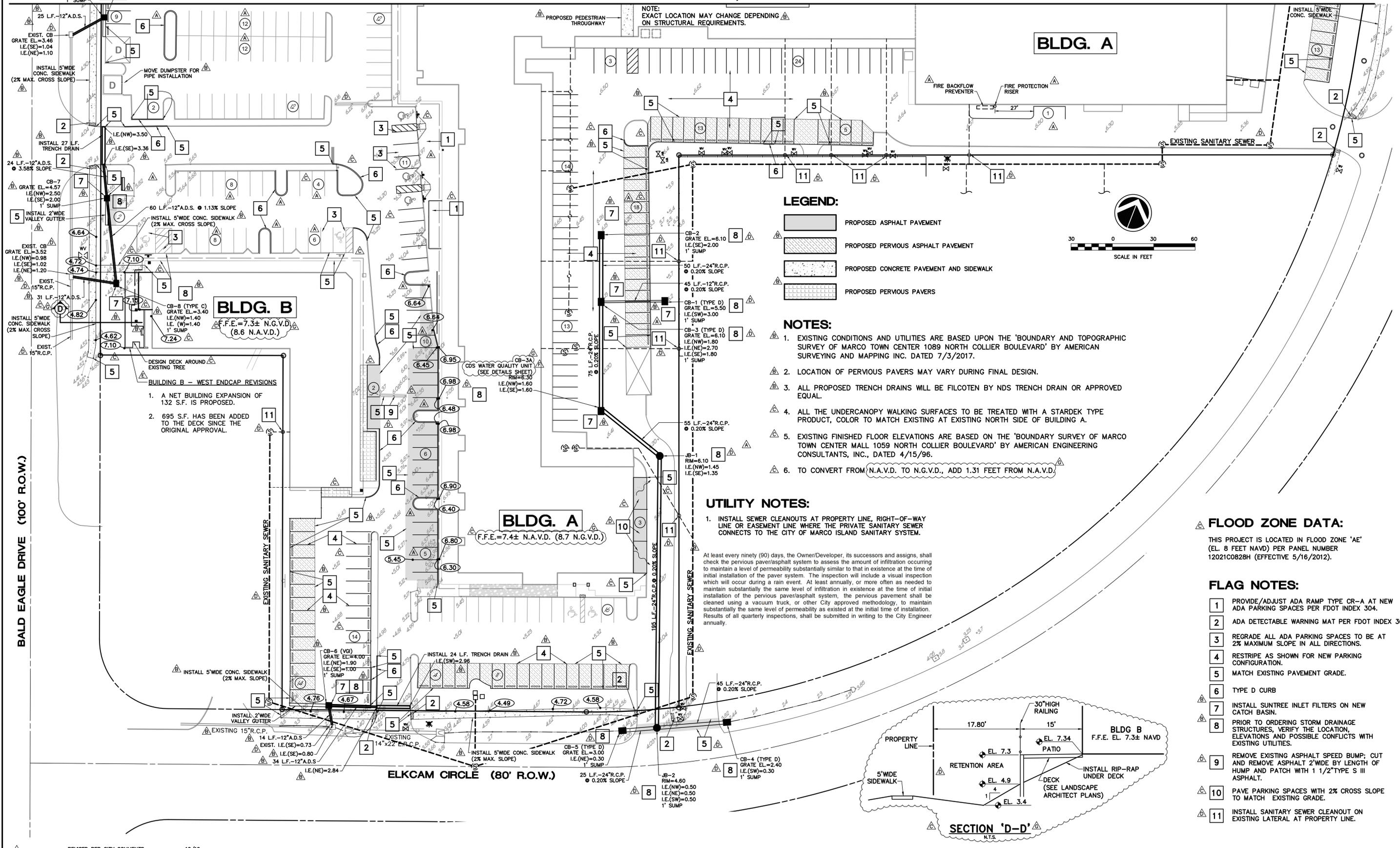


950 Encore Way
Naples, FL. 34110
Phone: (239) 254-2000
Florida Certificate of
Authorization No. 1772

**PAVING, GRADING and
DRAINAGE PLAN (NORTH)**

ENGINEER: W. TERRY COLE, P.E. LICENSE No. 42347	CAD FILE NAME:	DRAWING NO.:
THESE DRAWINGS ARE NOT APPROVED FOR CONSTRUCTION UNLESS SIGNED BELOW:	15084DP01	4883-4
DATE	PROJECT NO.:	SHEET NO.:
	2015.084	4 OF 7

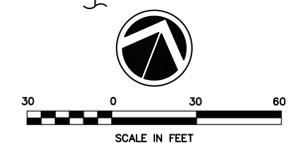
MATCH LINE - FOR CONTINUATION, SEE PREVIOUS SHEET



- LEGEND:**
- PROPOSED ASPHALT PAVEMENT
 - PROPOSED PERVIOUS ASPHALT PAVEMENT
 - PROPOSED CONCRETE PAVEMENT AND SIDEWALK
 - PROPOSED PERVIOUS PAVERS

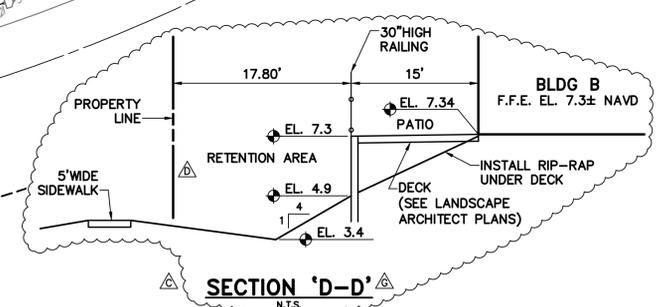
- NOTES:**
1. EXISTING CONDITIONS AND UTILITIES ARE BASED UPON THE 'BOUNDARY AND TOPOGRAPHIC SURVEY OF MARCO TOWN CENTER 1089 NORTH COLLIER BOULEVARD' BY AMERICAN SURVEYING AND MAPPING INC. DATED 7/3/2017.
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 4. ALL THE UNDERCANOPY WALKING SURFACES TO BE TREATED WITH A STARDEK TYPE PRODUCT, COLOR TO MATCH EXISTING AT EXISTING NORTH SIDE OF BUILDING A.
 5. EXISTING FINISHED FLOOR ELEVATIONS ARE BASED ON THE 'BOUNDARY SURVEY OF MARCO TOWN CENTER MALL 1059 NORTH COLLIER BOULEVARD' BY AMERICAN ENGINEERING CONSULTANTS, INC., DATED 4/15/96.
 6. TO CONVERT FROM N.A.V.D. TO N.G.V.D., ADD 1.31 FEET FROM N.A.V.D.

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 - 2 ADA DETECTABLE WARNING MAT PER FDOT INDEX 304.
 - 3 REGRADE ALL ADA PARKING SPACES TO BE AT 2% MAXIMUM SLOPE IN ALL DIRECTIONS.
 - 4 RESTRIPE AS SHOWN FOR NEW PARKING CONFIGURATION.
 - 5 MATCH EXISTING PAVEMENT GRADE.
 - 6 TYPE D CURB
 - 7 INSTALL SUNTREE INLET FILTERS ON NEW CATCH BASIN.
 - 8 PRIOR TO ORDERING STORM DRAINAGE STRUCTURES, VERIFY THE LOCATION, ELEVATIONS AND POSSIBLE CONFLICTS WITH EXISTING UTILITIES.
 - 9 REMOVE EXISTING ASPHALT SPEED BUMP; CUT AND REMOVE ASPHALT 2' WIDE BY LENGTH OF HUMP AND PATCH WITH 1 1/2" TYPE S III ASPHALT.
 - 10 PAVE PARKING SPACES WITH 2% CROSS SLOPE TO MATCH EXISTING GRADE.
 - 11 INSTALL SANITARY SEWER CLEANOUT ON EXISTING LATERAL AT PROPERTY LINE.



- BUILDING B - WEST ENDCAP REVISIONS**
1. A NET BUILDING EXPANSION OF 132 S.F. IS PROPOSED.
 2. 695 S.F. HAS BEEN ADDED TO THE DECK SINCE THE ORIGINAL APPROVAL.

BALD EAGLE DRIVE (100' R.O.W.)

ELKCAM CIRCLE (80' R.O.W.)

LETTER	REVISIONS	DATE
△	REVISED PER CITY COMMENTS	10/19
△	REVISED DRAINAGE STRUCTURE	10/19
△	REVISED PER CITY COMMENTS	9/19
△	REVISED PER FIRE DEPT. COMMENTS	4/19
△	REVISED PER CLIENT COMMENTS	10/18
△	REVISED PER SITE MODIFICATIONS	4/18
△	REVISED PER CITY COMMENTS	11/17

MARCO TOWN CENTER

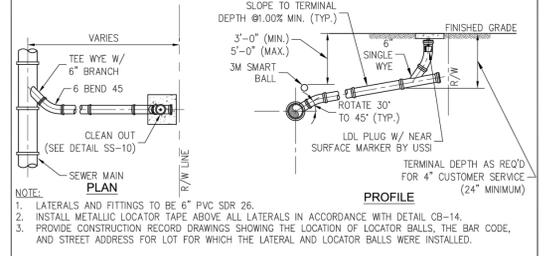
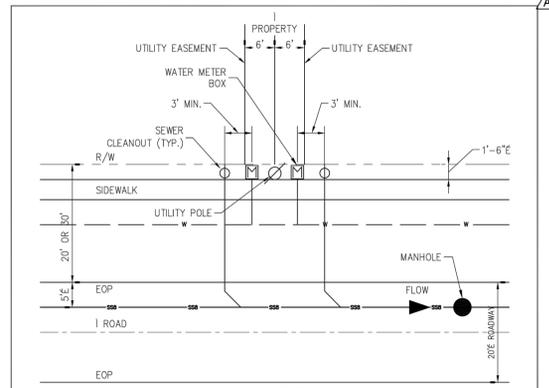
DESIGNED BY	W.A.G.	DATE	5/17
DRAWN BY	A.L.J.	DATE	5/17
CHECKED BY	W.A.G.	DATE	5/17
VERTICAL SCALE	N/A	HORIZONTAL SCALE	1" = 30'



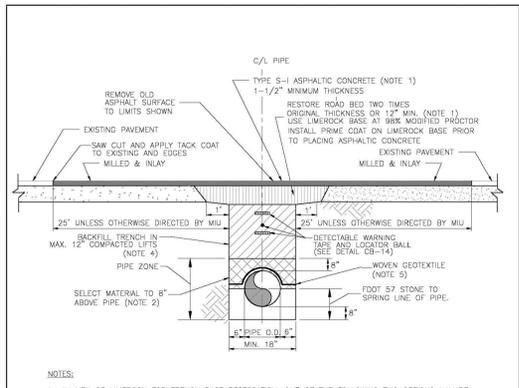
950 Encore Way
 Naples, FL. 34110
 Phone: (239) 254-2000
 Florida Certificate of
 Authorization No. 1772

PAVING, GRADING and DRAINAGE PLAN (SOUTH)

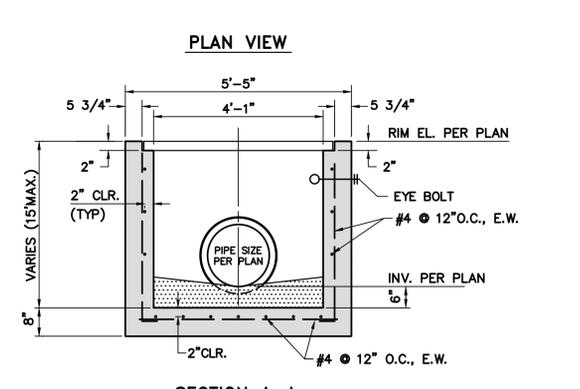
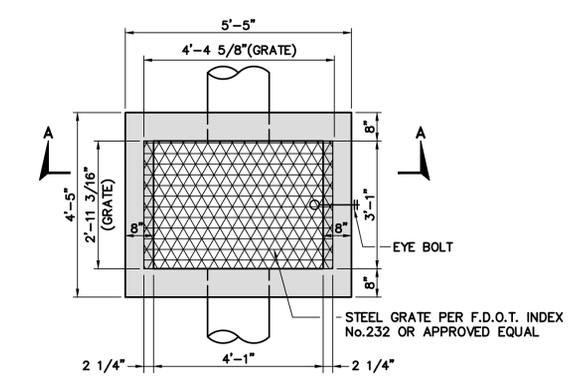
ENGINEER: W. TERRY COLE, P.E. LICENSE No. 42347	CAD FILE NAME:	DRAWING NO.:
THESE DRAWINGS ARE NOT APPROVED FOR CONSTRUCTION UNLESS SIGNED BELOW:	15084DP01	4883-5
DATE	PROJECT NO.:	SHEET NO.:
	2015.084	5 OF 7



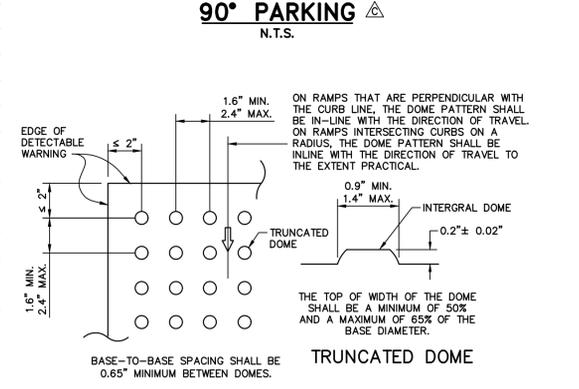
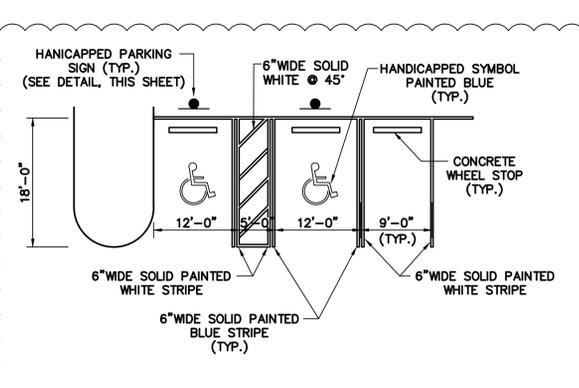
SS-20 SINGLE SEWER SERVICE CONNECTION
 NOT TO SCALE (REVISED 08/26/15)
MARCO ISLAND UTILITIES
 880 North Collier Blvd.
 MARCO ISLAND, FL 34145
 SCALE: NOT TO SCALE
 DATE: APRIL 2007
 DWG #: SS-20.DWG



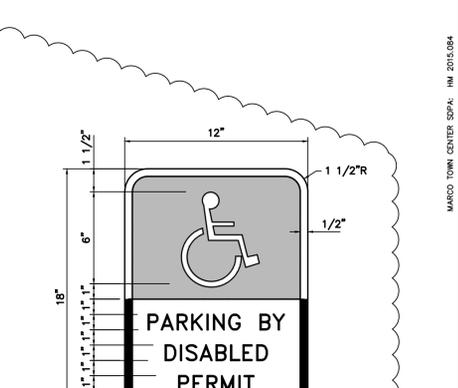
CB-10 TRENCH AND PAVING RESTORATION
 NOT TO SCALE (REVISED 08/26/15)
MARCO ISLAND UTILITIES
 880 North Collier Blvd.
 MARCO ISLAND, FL 34145
 SCALE: NOT TO SCALE
 DATE: NOVEMBER 2007
 DWG #: CB-10.DWG



CATCH BASIN TYPE 'D'
 RECOMMENDED PIPE SIZE:
 3'-1" WALL - 24" PIPE
 4'-1" WALL - 36" PIPE



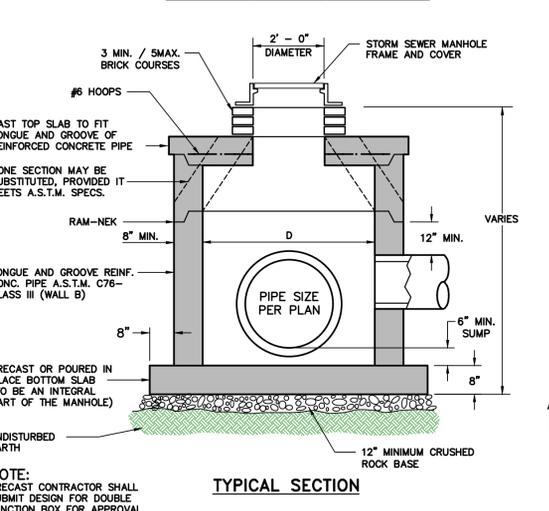
CURB RAMP DETECTABLE WARNING DETAIL
 N.T.S.



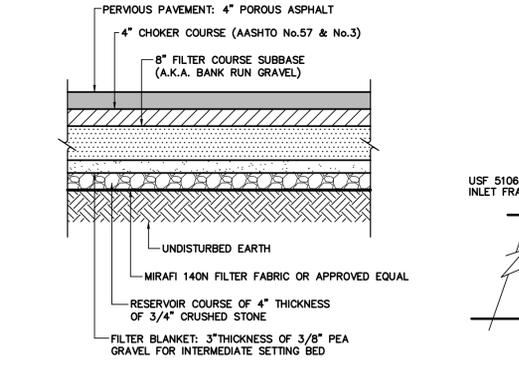
PARKING BY DISABLED PERMIT ONLY
\$250 FINE
 F.S. 318-14

1. TOP PORTION (FTP-20-04) SHALL HAVE A REFLECTIVE BLUE BACKGROUND WITH WHITE REFLECTIVE SYMBOL AND BORDER.
 2. BOTTOM PORTION (FTP-22-04) SHALL HAVE A REFLECTIVE WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER.
DISABLED PERMIT SIGN
 N.T.S.

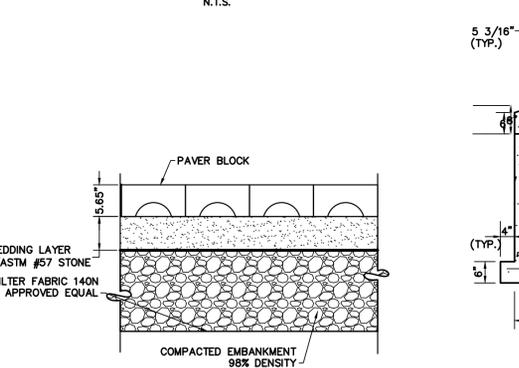
PIPE DIAMETER	D	TOP SLAB REINFORCING
TO 24"	4' - 0"	(3) #6 HOOPS (8) #6 BARS
27" - 36"	5' - 0"	(4) #6 HOOPS (8) #6 BARS
42" - 48"	6' - 0"	(5) #6 HOOPS (8) #6 BARS



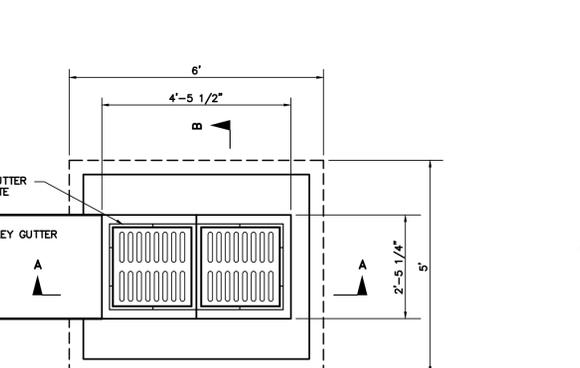
STORM SEWER JUNCTION BOX
 FOR PIPE DIAMETER 48" OR LESS



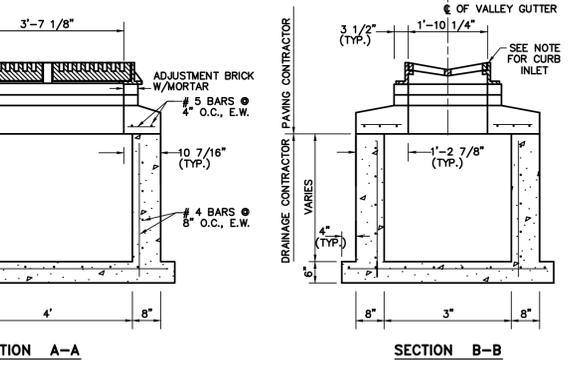
PERVIOUS ASPHALT PAVING CROSS SECTION
 N.T.S.



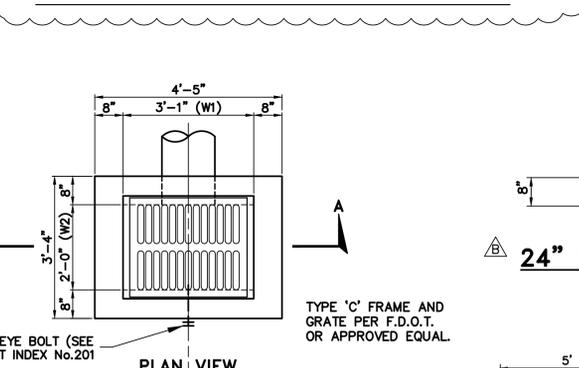
PAVEDRAIN SYSTEM CROSS SECTION
 N.T.S.



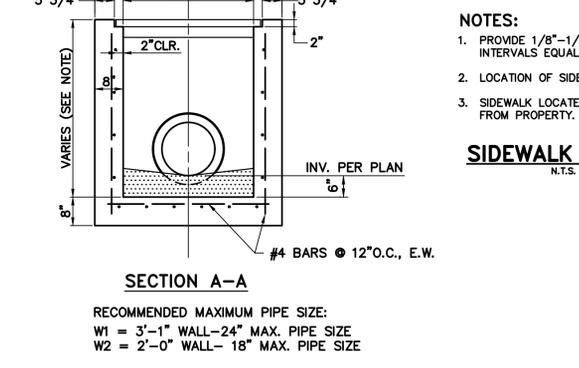
CURB AND VALLEY GUTTER INLET DETAIL
 N.T.S.



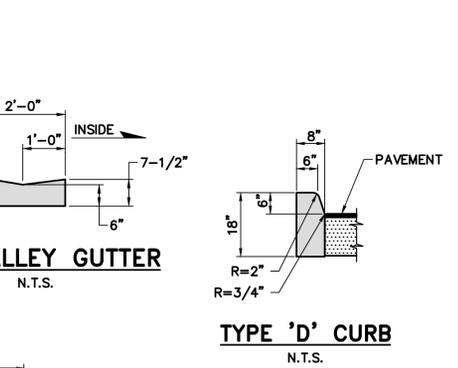
CURB AND VALLEY GUTTER INLET DETAIL
 NOTE: CURB INLETS TO USE USF FRAME AND GRATE 5130-6168
 VALLEY GUTTER TO USE TYPE "22" INLET BOX



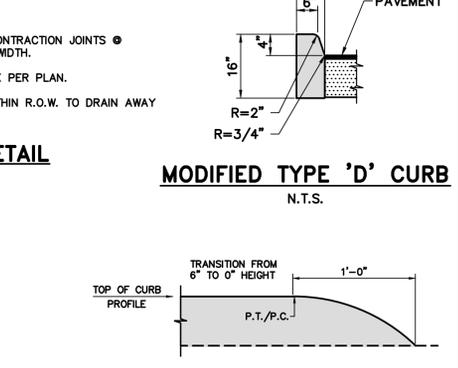
TYPE 'C' CATCH BASIN
 N.T.S.



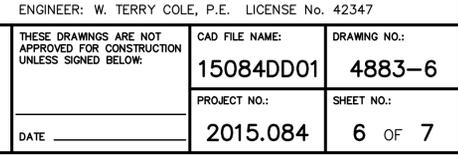
TYPE 'C' CATCH BASIN
 RECOMMENDED MAXIMUM PIPE SIZE:
 W1 = 3'-1" WALL - 24" MAX. PIPE SIZE
 W2 = 2'-0" WALL - 18" MAX. PIPE SIZE



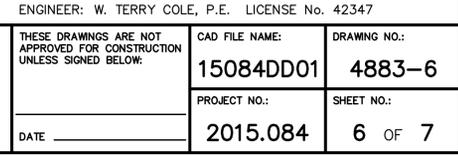
24" VALLEY GUTTER
 N.T.S.



TYPE 'D' CURB
 N.T.S.



MODIFIED TYPE 'D' CURB
 N.T.S.



CURB ENDING DETAIL
 N.T.S.

H:\2015\20150804\DW\CONSTR_S02A\150804000.dwg Tab: 4883-06_0001 Oct 18, 2019 4:47pm Plotted by: AmberLegason

LETTER	REVISIONS	DATE
A	DETAILS MOVED FROM SHEET 7 TO SHEET 6	10/19
B	REVISIONS PER SITE MODIFICATIONS	4/18
C	REVISED PER CITY COMMENTS	11/17

MARCO TOWN CENTER

DESIGNED BY	W.A.G.	DATE	7/17
DRAWN BY	A.L.J.	DATE	7/17
CHECKED BY	W.A.G.	DATE	7/17
VERTICAL SCALE	N/A	HORIZONTAL SCALE	AS SHOWN



950 Encore Way
 Naples, FL 34110
 Phone: (239) 254-2000
 Florida Certificate of
 Authorization No.1772

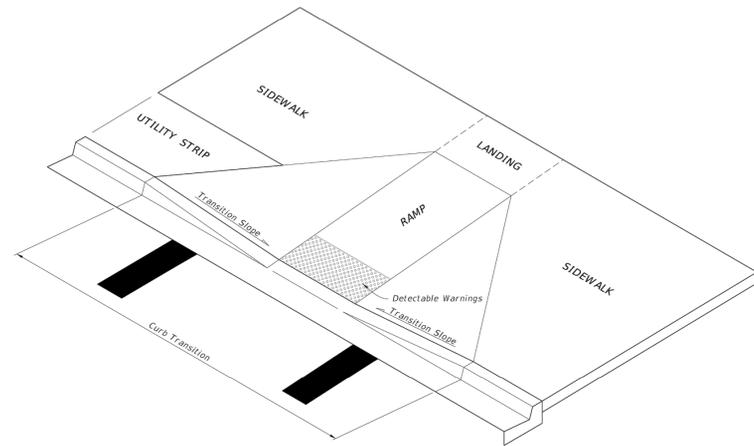
PAVING, GRADING and DRAINAGE DETAILS (1 of 2)

ENGINEER: W. TERRY COLE, P.E. LICENSE No. 42347	
CAD FILE NAME:	DRAWING NO.:
15084DD01	4883-6
PROJECT NO.:	SHEET NO.:
2015.084	6 OF 7

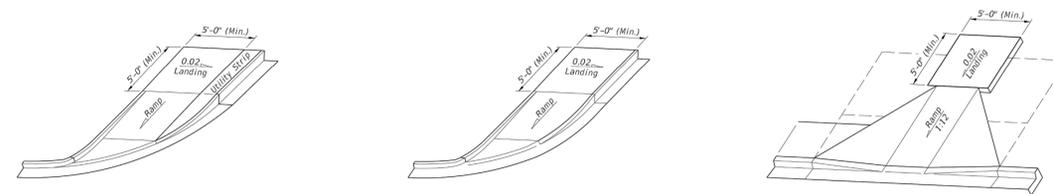
GENERAL NOTES

- Cross Slopes and Grades:**
 - Sidewalk, ramp, and landing slopes (i.e. 0.02, 0.05, and 1:12) shown in this index are maximums. Steeper slopes are not permitted unless otherwise detailed in the Plans.
 - Landings must have slopes less than or equal to 0.02 in any direction.
 - Install ramp slopes along a single linear plane (i.e. no warps or varying slope).
- Grade Breaks:**

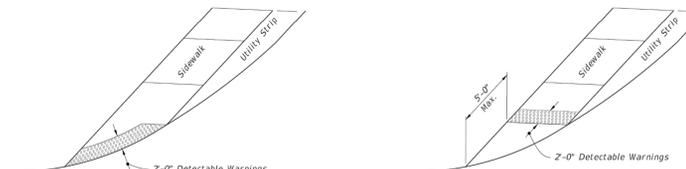
Grade breaks at the top and bottom of ramps must be parallel to each other and perpendicular to the direction of the ramp slope.
- Existing Curb, Curb and Gutter and/or Sidewalk:**
 - Remove any existing curb or curb and gutter to the nearest joint beyond the curb transition or to the extent that no remaining section of curb or curb and gutter is less than 5 feet long. Remove any existing sidewalk to the nearest joint beyond the transition slope or to the extent that no remaining section of sidewalk is less than 5 feet long.
 - Refer to Index 310 for Concrete Sidewalk details.
- Curb Ramp Alpha-Identification:**
 - Sidewalk curb ramp alpha-identifications (e.g. CR-A) are provided for reference purposes in the Plans.
 - Alpha-identifications CR-I and CR-J are intentionally omitted.
- Detectable Warnings:**
 - Install detectable warnings in accordance with Specification Section 527.
 - Place detectable warnings across the full width of the ramp or landing, to a depth of 2 feet measured perpendicular to the curb line and no greater than 5 feet from the back of the curb or edge of pavement.
 - If detectable warnings are shown in the Plans on slopes greater than 5%, align the truncated domes with the centerline of the ramp; otherwise, the truncated domes are not required to be aligned.
- Detectable Warnings - Acceptance Criteria:**
 - Color and texture shall be complete and uniform.
 - 90% of individual truncated domes shall be in accordance with the Americans with Disabilities Act Standards for Transportation Facilities, Section 705.
 - There shall be no more than 4 non-compliant domes in any one square foot.
 - Non-compliant domes shall not be adjacent to other non-compliant domes.
 - Surfaces shall not deviate more than 0.10" from a true plane.



CURB RAMP NOMENCLATURE



LANDINGS FOR CURB RAMPS WITHOUT SIDEWALKS
(See CR-F, CR-G & CR-K Respectively For Detectable Warning Details/Options)

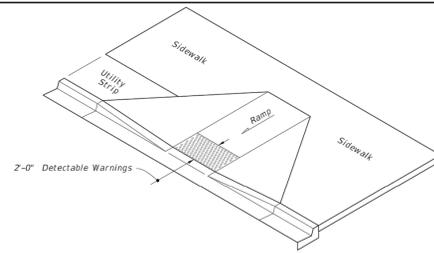


DETECTABLE WARNING ON FLUSH SHOULDER SIDEWALKS

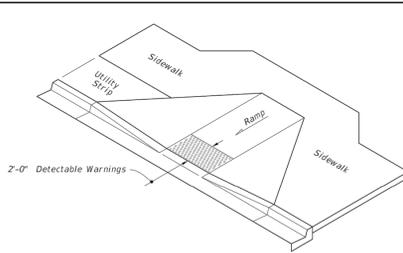
CURB RAMPS WITHOUT SIDEWALKS AND FLUSH SHOULDER SIDEWALKS

LAST REVISION 11/01/16	DESCRIPTION: FDOT FY 2017-18 DESIGN STANDARDS	DETECTABLE WARNINGS AND SIDEWALK CURB RAMPS	INDEX NO. 304	SHEET NO. 1 of 8
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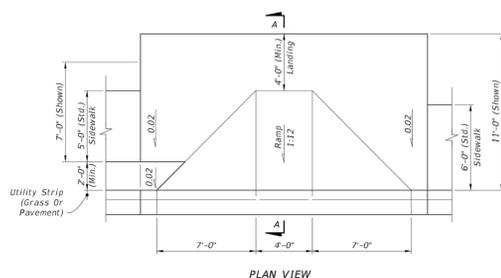
LAST REVISION 11/01/16	DESCRIPTION: FDOT FY 2017-18 DESIGN STANDARDS	DETECTABLE WARNINGS AND SIDEWALK CURB RAMPS	INDEX NO. 304	SHEET NO. 6 of 8
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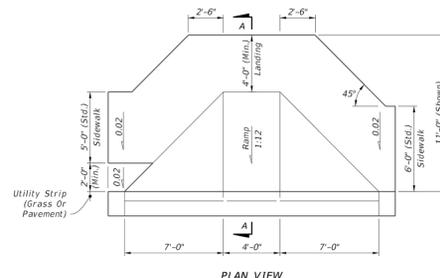
ISOMETRIC VIEW



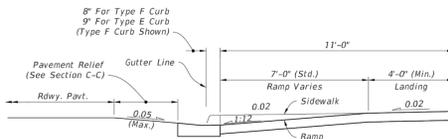
ISOMETRIC VIEW



PLAN VIEW
CR-A



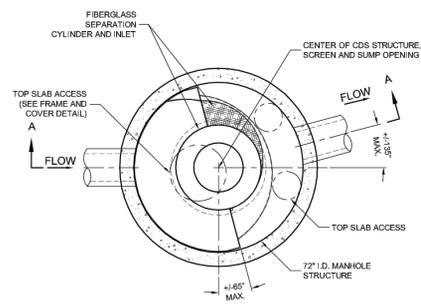
PLAN VIEW
CR-B



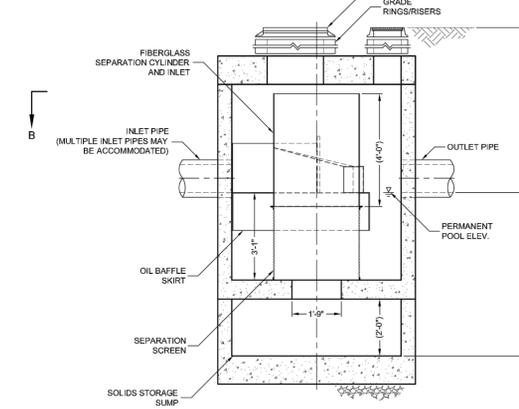
SECTION A-A

SIDEWALK CURB RAMPS CR-A AND CR-B

LAST REVISION 11/01/16	DESCRIPTION: FDOT FY 2017-18 DESIGN STANDARDS	DETECTABLE WARNINGS AND SIDEWALK CURB RAMPS	INDEX NO. 304	SHEET NO. 2 of 8
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PLAN VIEW B-B
N.T.S.



ELEVATION A-A
N.T.S.

CDS3025-6-C DESIGN NOTES

CDS3025-6-C RATED TREATMENT CAPACITY IS 2.4 CFS, OR PER LOCAL REGULATIONS. MAXIMUM HYDRAULIC INTERNAL BYPASS CAPACITY IS 20.0 CFS. IF THE SITE CONDITIONS EXCEED 20.0 CFS, AN UPSTREAM BYPASS STRUCTURE IS REQUIRED.

THE STANDARD CDS3025-6-C CONFIGURATION IS SHOWN. ALTERNATE CONFIGURATIONS ARE AVAILABLE AND ARE LISTED BELOW. SOME CONFIGURATIONS MAY BE COMBINED TO SUIT SITE REQUIREMENTS.

CONFIGURATION DESCRIPTION

GRATED INLET ONLY (NO INLET PIPE)

GRATED INLET WITH INLET PIPE OR PIPES

CURB INLET ONLY (NO INLET PIPE)

CURB INLET WITH INLET PIPE OR PIPES

SEPARATE OIL BAFFLE (SINGLE INLET PIPE REQUIRED FOR THIS CONFIGURATION)

SEDIMENT WEIR FOR NJDEP / NJCAT CONFORMING UNITS



FRAME AND COVER
(DIAMETER VARIES)
N.T.S.

SITE SPECIFIC DATA REQUIREMENTS	
STRUCTURE ID	
WATER QUALITY FLOW RATE (CFS)	2.4
PEAK FLOW RATE (CFS)	13.29
RETURN PERIOD OF PEAK FLOW (YRS)	3
SCREEN APERTURE (2400 OR 4700)	*
PIPE DATA: I.E. MATERIAL DIAMETER	
INLET PIPE 1	SEE PLANS
INLET PIPE 2	
OUTLET PIPE	
RAM ELEVATION	
ANTI-FLOTATION BALLAST	WIDTH HEIGHT
NOTES/SPECIAL REQUIREMENTS:	
* PER ENGINEER OF RECORD	

- GENERAL NOTES**
- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
 - DIMENSIONS MARKED WITH () ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
 - FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH CONSTRUCTION PRODUCTS REPRESENTATIVE. www.contech-cp.com
 - CDS WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
 - STRUCTURE SHALL MEET ASHTO H2002 AND CASTINGS SHALL MEET ASHTO M208 LOAD RATING, ASSUMING GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION.
- INSTALLATION NOTES**
- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
 - CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE (LIFTING CLIFTERS PROVIDED).
 - CONTRACTOR TO ADD JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS, AND ASSEMBLE STRUCTURE.
 - CONTRACTOR TO PROVIDE, INSTALL, AND GROUT PIPES. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN.
 - CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.



CDS3025-6-C
INLINE CDS
STANDARD DETAIL

ENGINEER: W. TERRY COLE, P.E. LICENSE No. 42347

H:\2015\20150804\00\CONSTR_S01A\150804P001.dwg Job: 4883-07_P001 Oct 18, 2019 - 4:44pm Plotted by: Amberlegason

DESIGNED BY W.A.G.	DATE 7/17
DRAWN BY A.L.J.	DATE 7/17
CHECKED BY W.A.G.	DATE 7/17
VERTICAL SCALE N/A	HORIZONTAL SCALE AS SHOWN

MARCO TOWN CENTER



950 Encore Way
Naples, FL 34110
Phone: (239) 254-2000
Florida Certificate of
Authorization No.1772

PAVING, GRADING and DRAINAGE
DETAILS (2 of 2)

THESE DRAWINGS ARE NOT APPROVED FOR CONSTRUCTION UNLESS SIGNED BELOW:	CAD FILE NAME: 15084PD01	DRAWING NO.: 4883-7
DATE	PROJECT NO.: 2015.084	SHEET NO.: 7 OF 7